

PARKSIDE APARTMENTS & PARKSIDE CONDOMINIUMS

PROPOSED CHAPTER 40B RESIDENTIAL PROJECT

383-385 WASHINGTON STREET BRAINTREE, MASSACHUSETTS

FEBRUARY 2, 2017

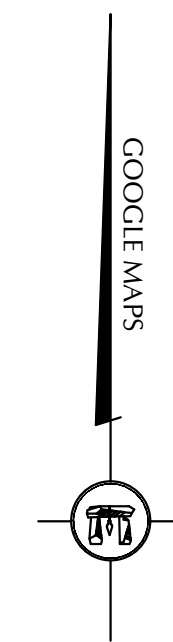


IMAGE FROM 2016 GOOGLE MAPS

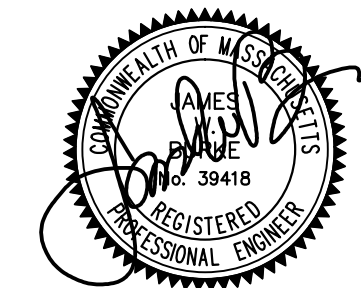
LOCUS AERIAL
NTS

SHEETS

1. COVER SHEET
2. EXISTING CONDITIONS
3. CONSTRUCTION MANAGEMENT
4. PROPOSED SUBDIVISION
5. PROPOSED SITE LAYOUT
6. PROPOSED SITE GRADING
7. PROPOSED SITE UTILITIES
8. PROPOSED UTILITY PROFILE
9. CONSTRUCTION DETAILS
10. CONSTRUCTION DETAILS



REVISIONS:		
No.	DATE	PEER REVIEW EDITS
1.	10-16-19	



APPLICANT

383 WASHINGTON STREET, LLC
THE HOLLAND COMPANIES
519 ALBANY STREET, SUITE 200
BOSTON, MA 02118

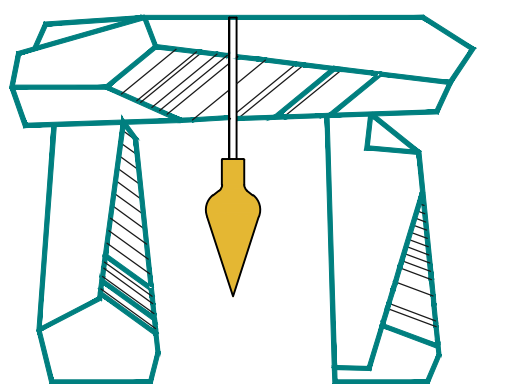
CIVIL/SURVEY

DECILLE-BURKE & ASSOCIATES
1266 FURNACE BROOK PARKWAY
SUITE 401
QUINCY, MA 02169

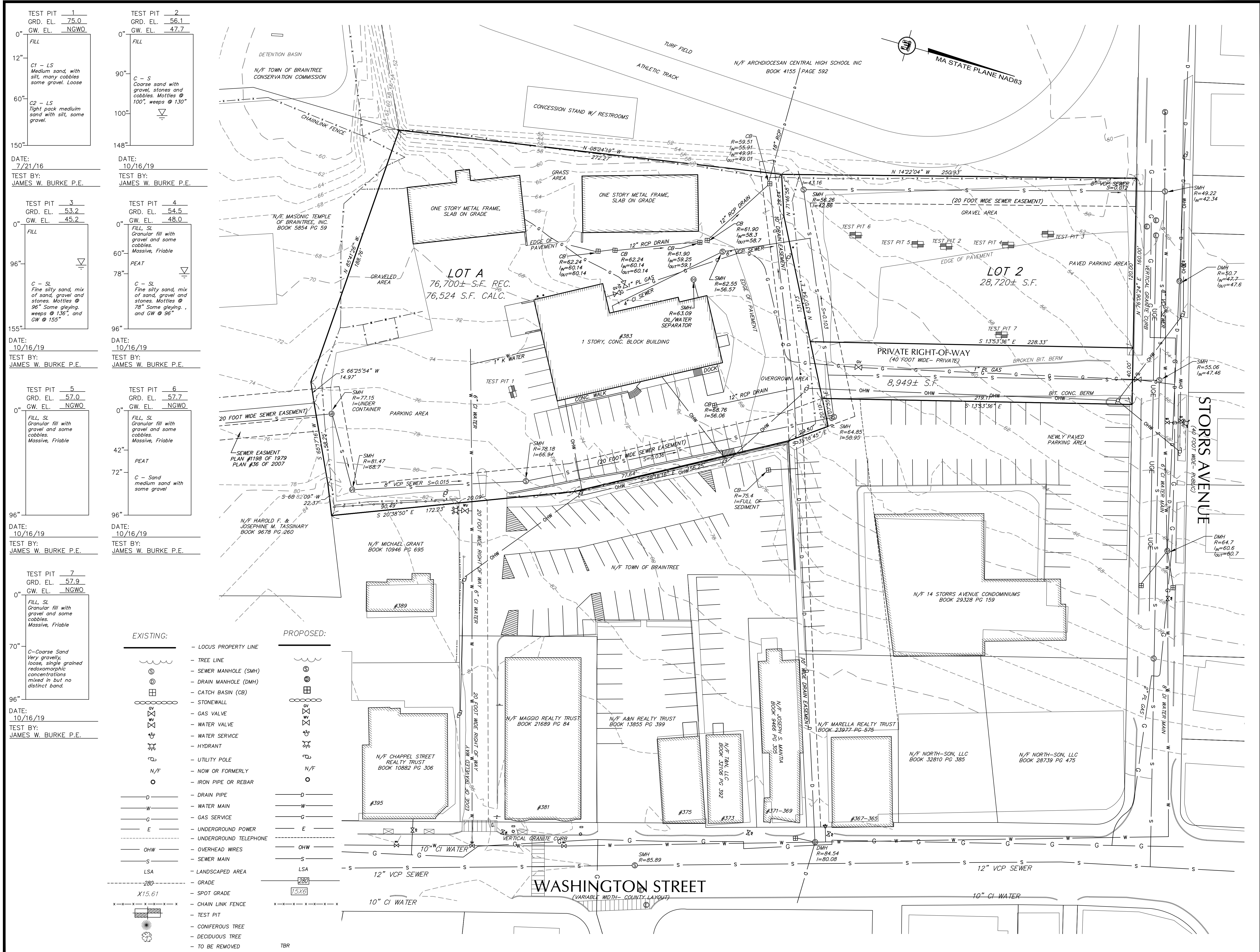
ARCHITECT

VMY ARCHITECTS, LLC
188 NEEDHAM STREET
NEWTON, MA 02464-1560

DeCelle-Burke-Sala



1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com



TEST PIT 1
GRD. EL. 75.0
GW. EL. NGWO

0"
12"
60"
150"

FILL
C1 - LS
Medium sand, with silt, many cobbles some gravel. Loose

DATE: 7/21/16
TEST BY: JAMES W. BURKE P.E.

TEST PIT 2
GRD. EL. 56.1
GW. EL. 47.7

0"
90"
100"
148"

FILL
C - S
Coarse sand with gravel, stones, and cobbles. Mottles @ 100", weeps @ 130"

DATE: 10/16/19
TEST BY: JAMES W. BURKE P.E.

TEST PIT 3
GRD. EL. 53.2
GW. EL. 45.2

0"
96"

FILL
C - SL
Fine silty sand, mix of sand, gravel and stones. Mottles @ 96" Some gleying, weeps @ 136", and GW @ 153"

DATE: 10/16/19
TEST BY: JAMES W. BURKE P.E.

TEST PIT 4
GRD. EL. 54.5
GW. EL. 48.0

0"
60"
78"

FILL, SL
Granular fill with gravel and some cobbles. Massive, Friable

PEAT
C - SL
Fine silty sand, mix of sand, gravel and stones. Mottles @ 78" Some gleying, and GW @ 96"

DATE: 10/16/19
TEST BY: JAMES W. BURKE P.E.

TEST PIT 5
GRD. EL. 57.0
GW. EL. NGWO

0"
96"

FILL, SL
Granular fill with gravel and some cobbles. Massive, Friable

DATE: 10/16/19
TEST BY: JAMES W. BURKE P.E.

TEST PIT 6
GRD. EL. 57.7
GW. EL. NGWO

0"
42"
72"
96"

FILL, SL
Granular fill with gravel and some cobbles. Massive, Friable

PEAT
C - Sand
medium sand with some gravel

DATE: 10/16/19
TEST BY: JAMES W. BURKE P.E.

TEST PIT 7
GRD. EL. 57.9
GW. EL. NGWO

0"
70"
96"

FILL, SL
Granular fill with gravel and some cobbles. Massive, Friable

C-Coarse Sand
Very gravelly, loose, single grained redoxamorphic concentrations mixed in but no distinct band.

DATE: 10/16/19
TEST BY: JAMES W. BURKE P.E.

EXISTING:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- NOW OR FORMERLY
- IRON PIPE OR REBAR
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- UNDERGROUND TELEPHONE
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- GRADE
- SPOT GRADE
- CHAIN LINK FENCE
- TEST PIT
- CONIFEROUS TREE
- DECIDUOUS TREE
- TO BE REMOVED

PROPOSED:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
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COMMONWEALTH OF MASSACHUSETTS
CLAUDIO SALA
No. 38391
PROFESSIONAL
LAND SURVEYOR

CLAUDIO SALA, PLS DATE

GENERAL NOTES:

ZONING: GENERAL BUSINESS
MINIMUM REQUIREMENTS:
AREA: 15,000 S.F.
FRONT SETBACK: 10'
SIDE SETBACK: 10'
REAR SETBACK: 20'
LOT FRONTAGE/WIDTH: 50'/100'
MAX HEIGHT: 3 STY
BUILDING COVERAGE: 70%
MIN OPEN SPACE: 10%

ZONING: RESIDENCE B
MINIMUM REQUIREMENTS:
AREA: 15,000 S.F.
FRONT SETBACK: 20'
SIDE SETBACK: 10'
REAR SETBACK: 30'
LOT FRONTAGE/WIDTH: 50'/100'
MAX HEIGHT: 3 STY
BUILDING COVERAGE: 35%
MIN OPEN SPACE: 30%

CURRENT OWNER:
383 WASHINGTON STREET LLC

DEED REFERENCE:
Book 30862 Page 314

PLAN REFERENCE:
Book 455 Page 272
Book 4284 Page 179
LC PLAN 3751D

PROJECT TITLE & LOCATION:
PARKSIDE APARTMENTS &
PARKSIDE CONDOMINIUMS
40B RESIDENTIAL PROJECT
383-385 WASHINGTON STREET
BRAINTREE, MA

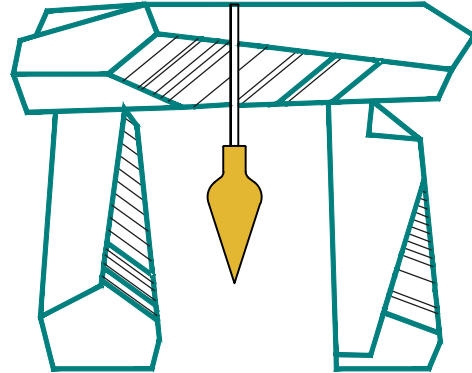
PLAN TITLE:
EXISTING CONDITIONS

PREPARED FOR:
THE HOLLAND COMPANIES
519 ALBANY STREET
SUITE 200
BOSTON, MA 02118

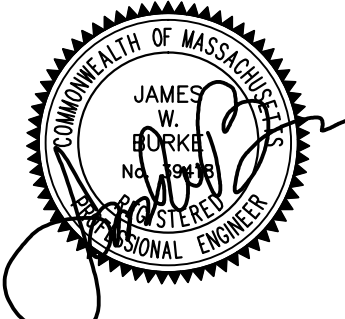
DATE: FEBRUARY 2, 2017
REVISED: OCTOBER 16, 2019

JOB NUMBER: 185.033 SHEET 2 OF 10

SCALE: 1"=30'



1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100(o) 617-405-5101(f)
www.decelle-burke-sala.com



JAMES W. BURKE, PE

DATE

GENERAL NOTES:

ZONING: GENERAL BUSINESS

MINIMUM REQUIREMENTS:
AREA: 15,000 S.F.
FRONT SETBACK: 10'
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CURRENT OWNER:

383 WASHINGTON STREET LLC

DEED REFERENCE:

Book 30862 Page 314

PLAN REFERENCE:

Book 455 Page 272
Book 4284 Page 179
LC PLAN 3751D

PROJECT TITLE & LOCATION:

PARKSIDE APARTMENTS &
PARKSIDE CONDOMINIUMS
40B RESIDENTIAL PROJECT
383-385 WASHINGTON STREET
BRAINTREE, MA

PLAN TITLE:

CONSTRUCTION MANAGEMENT

PREPARED FOR:

THE HOLLAND COMPANIES
519 ALBANY STREET
SUITE 200
BOSTON, MA 02118

DATE: FEBRUARY 2, 2017

REVISED: OCTOBER 16, 2019

JOB NUMBER: 185.033 SHEET 3 OF 10

30 15 0 30 60

SCALE: 1"=30'

CONSTRUCTION SEQUENCING

1. A CONSTRUCTION SAFETY FENCE LIMITING ACCESS TO THE SITE SHALL BE PLACED AROUND THE PERIMETER OF THE PROPERTY TO MAKE IT SECURE.
2. CONTRACTOR TO PLACE EROSION CONTROL BARRIER AT LIMITS OF PROPERTY WHERE POSSIBLE PRIOR TO BUILDING REMOVAL. CONTRACTOR TO ALSO PLACE CRUSHED STONE APRON AT SITE EGRESS POINT TO MINIMIZE SEDIMENT TRANSPORT OFFSITE FROM CONSTRUCTION VEHICLE TIRES.
3. CONTRACTOR TO DEMOLISH EXISTING BUILDINGS AFTER ALL PREPARATIONS ARE MADE INCLUDING, BUT NOT LIMITED TO, UTILITY DISCONNECTS, INTERIOR DEMOLITION, HAZARDOUS WASTE REMOVAL, ETC. CONTRACTOR TO HAVE A WATER TRUCK ON HAND TO MINIMIZE FUGITIVE DUST. ALL DEBRIS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
4. THE REMAINING EROSION CONTROL DEVICES SHALL BE INSTALLED AT THE LIMITS OF THE PROPERTY AS SHOWN ON THE PLAN.
5. TEMPORARY STORMWATER CONTROL DEVICES SHALL BE INSTALLED IF EROSION CONTROL DEVICES DO NOT APPEAR TO CONTROL SAID RUNOFF.
6. THE FOUNDATIONS SHALL BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH THE APPROVED BUILDING PLANS. IF BACKFILL AND/OR STRUCTURAL FILL IS NEEDED TO BE STOCKPILED ONSITE THE CONTRACTOR SHALL PLACE THEM IN THE STOCKPILE AREA CONTAINED WITHIN AN EROSION CONTROL BARRIER.
7. VERTICAL CONSTRUCTION OF THE BUILDINGS SHALL PROCEED ONCE THE FOUNDATION IS INSTALLED. UTILITY CONNECTIONS FOR THE BUILDING SHALL BE INSTALLED ONCE APPROVED BY UTILITY PURVEYORS.
8. ONCE HEAVY EQUIPMENT IS NO LONGER PROPOSED FOR USE ON THE SITE TO CONSTRUCT THE BUILDING THE UNDERGROUND STORMWATER RECHARGE FACILITIES CAN BE CONSTRUCTED ALONG WITH THE CATCH BASINS AND DRAIN MANHOLES. ONCE INSTALLED THE SITE CAN BE BACK FILLED AND ROUGH GRADED.
9. FINE GRADE THE SITE, PREPARE FOR PAVING AND PAVE THE SITE.
10. PROTECT THE CATCH BASIN INLETS DURING FINAL CONSTRUCTION.
11. LANDSCAPE THE PROPERTY.
12. PERFORM FINAL CLEANUP.

TBR - TO BE REMOVED

DEMOLITION & CONSTRUCTION NOTES:

THE CONTRACTOR SHALL PLACE A 6" HIGH TEMPORARY SAFETY FENCE AND ALL EROSION CONTROL MEASURES AROUND THE SITE PRIOR TO THE DEMOLITION ON SITE.

A WATER TRUCK SHALL BE ON-SITE DURING THE DEMOLITION PROCESS TO MINIMIZE FUGITIVE DUST.

A CRUSHED STONE APRON SHALL BE CONSTRUCTED AS SHOWN TO MINIMIZE TRUCK TIRES LEAVING SEDIMENT ON THE ROADWAYS.

ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.

THE SITE AND THE CRUSHED STONE APRON SHALL BE GRADED TO PREVENT ANY SITE RUNOFF FROM FLOWING OFF SITE.

CONSTRUCTION HOURS SHALL BE FROM 7:00AM TO 5:00PM MONDAY THROUGH FRIDAY, 8:00AM TO 4:00PM ON SATURDAYS. ALL CONSTRUCTION AND DELIVERIES ARE PROHIBITED SUNDAYS UNLESS APPROVED BY THE BUILDING COMMISSIONER.

EXISTING:

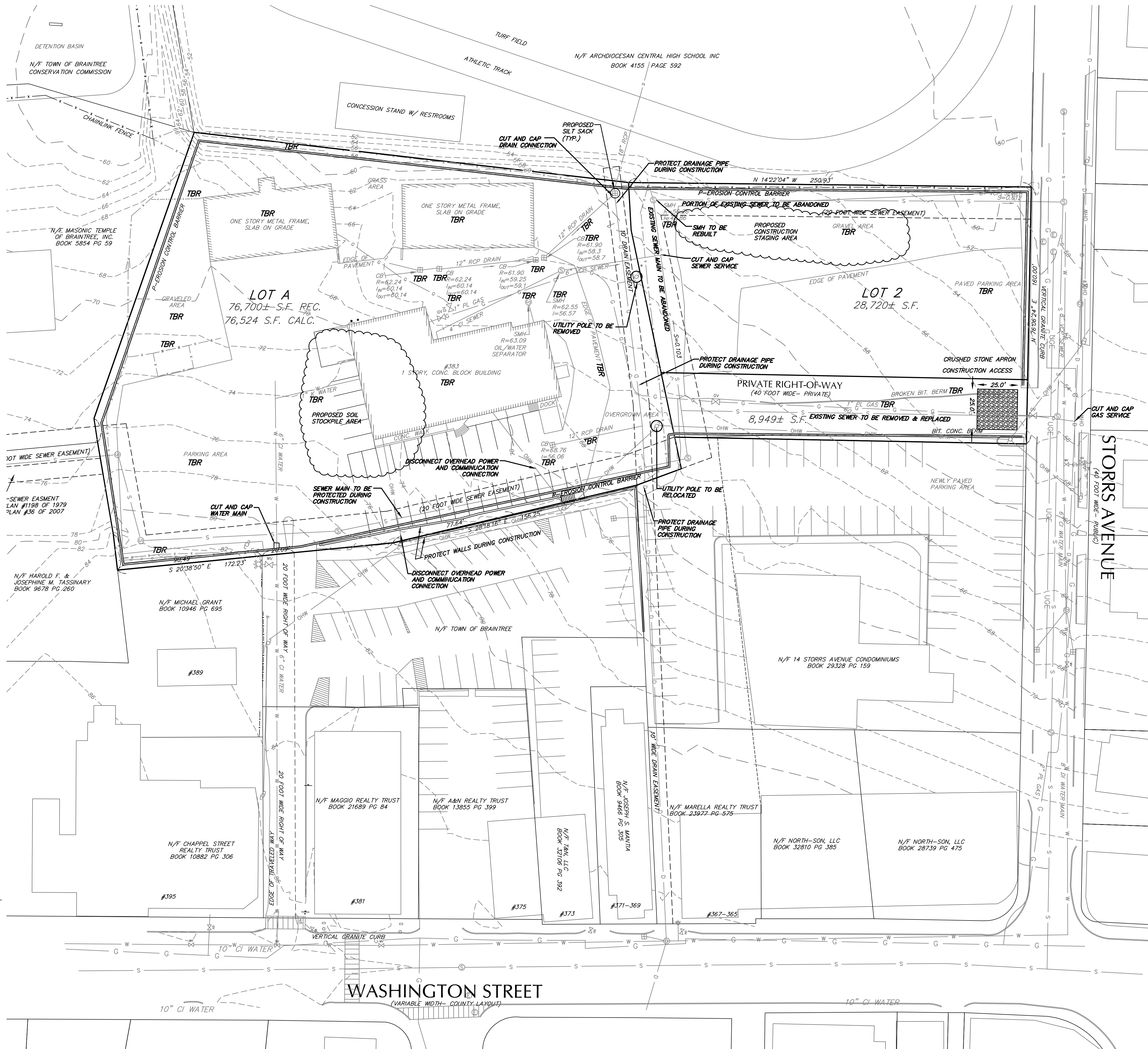
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- GRADE
- SPOT GRADE
- CHAIN LINK FENCE
- TEST PIT
- CONIFEROUS TREE
- DECIDUOUS TREE
- TO BE REMOVED

PROPOSED:

- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- UNDERGROUND TELEPHONE
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- GRADE
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- TEST PIT
- CONIFEROUS TREE
- DECIDUOUS TREE
- TO BE REMOVED

TBR



APPROVAL UNDER THE SUBDIVISION CONTROL
LAW NOT REQUIRED

BRAINTREE PLANNING BOARD DATE

Planning Board Endorsement does not reflect
compliance with applicable zoning requirements.
No determination of wetlands has been made or
intended by Planning Board endorsement.

PLAN REFERENCES:

NORFOLK REGISTRY OF DEEDS

BOOK 1623 PAGE 289
BOOK 278 PAGE 1128
BOOK 2228 PAGE 188
BOOK 1833 PAGE 302
BOOK 2729 PAGE 206
BOOK 2595 PAGE 224
BOOK 2282 PAGE 39
BOOK 4498 PAGE 517
BOOK 3946 PAGE 627
BOOK 2553 PAGE 424
BOOK 1803 PAGE END
BOOK 564 PAGE 36
BOOK 4284 PAGE 179
BOOK 278 No. 1126-1979
BOOK 250 No. 494-1975
BOOK 455 No. 272-1998
BOOK 138 No. 505-1946

NORFOLK COUNTY LAYOUTS

BOOK 103 No. 75-1924
BOOK 103 No. 74-1924

LAND COURT PLANS

No. 3751D

EXISTING:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
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- UNDERGROUND TELEPHONE
- OHW
- OVERHEAD WIRES
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- LANDSCAPED AREA
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- TEST PIT
- CONIFEROUS TREE
- DECIDUOUS TREE
- TO BE REMOVED

PROPOSED:

- N/F
- D
- W
- G
- E
- OHW
- S
- LSA
- 280
- 15X6
- TBR

MA STATE PLANE NAD83

DETENTION BASIN

N/F TOWN OF BRAINTREE
CONSERVATION COMMISSION

N/F MASONIC TEMPLE
OF BRAINTREE, INC.
BOOK 5854 PG 59

N/F HAROLD F. &
JOSEPHINE M. TASSINARI
BOOK 9678 PG 260

N/F MICHAEL GRANT
BOOK 10946 PG 695

#389

N/F CHAPPEL STREET
REALTY TRUST
BOOK 10882 PG 306

#395

CONCESSION STAND W/ RESTROOMS

PROPOSED LOT 1
93,866± S.F.

TURF FIELD

ATHLETIC TRACK

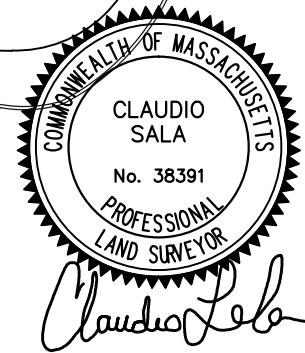
N/F ARCHDIOCESAN CENTRAL HIGH SCHOOL INC
BOOK 4155 PAGE 592

ACCESS & UTILITY EASEMENT

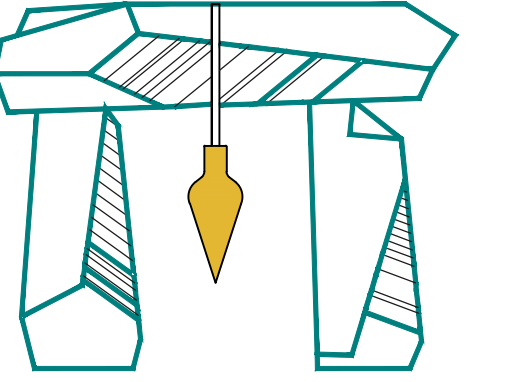
PROPOSED LOT 2
20,327± S.F.

STORRS AVENUE
(40 FOOT WIDE - PUBLIC)

WASHINGTON STREET
(VARIABLE WIDTH - COUNTY LAYOUT)



DeCelle-Burke-Sala



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FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS WITH THE
RULES AND REGULATIONS OF THE REGISTER OF
DEEDS IN THE COMMONWEALTH OF MASSACHUSETTS

CLAUDIO SALA, PLS

DATE

GENERAL NOTES:

ZONING: GENERAL BUSINESS

MINIMUM REQUIREMENTS:

AREA: 15,000 S.F.
FRONT SETBACK: 10'
SIDE SETBACK: 10'
REAR SETBACK: 20'
LOT FRONTAGE/WIDTH: 50'/100'
MAX HEIGHT: 3 STY
BUILDING COVERAGE: 70%
MIN OPEN SPACE: 10%

CURRENT OWNER:

383 WASHINGTON STREET LLC
519 ALBANY STREET, SUITE 200
BOSTON, MA 02122

DEED REFERENCE:

Book 30862 Page 314
Book 14283 Page 545
Book 14283 Page 550

PLAN REFERENCE:

Book 455 Page 272
Book 4284 Page 179
LC PLAN 3751D

ASSESSORS REFERENCE:

MAP 2028 LOTS 31 & 32A

PROJECT TITLE & LOCATION:

PARKSIDE APARTMENTS &
PARKSIDE CONDOMINIUMS
40B RESIDENTIAL PROJECT
383-385 WASHINGTON STREET
BRAINTREE, MA

PLAN TITLE:

PROPOSED SUBDIVISION

PREPARED FOR:

THE HOLLAND COMPANIES
519 ALBANY STREET
SUITE 200
BOSTON, MA 02118

DATE: FEBRUARY 2, 2017

REVISED: OCTOBER 16, 2019

JOB NUMBER: 185.033 SHEET 4 OF 10

30 15 0 30 60
SCALE: 1"=30'

ZONING SCHEDULE

LOT ZONING CLASSIFICATION : GENERAL BUSINESS (GB); VILLAGE OVERLAY DISTRICT

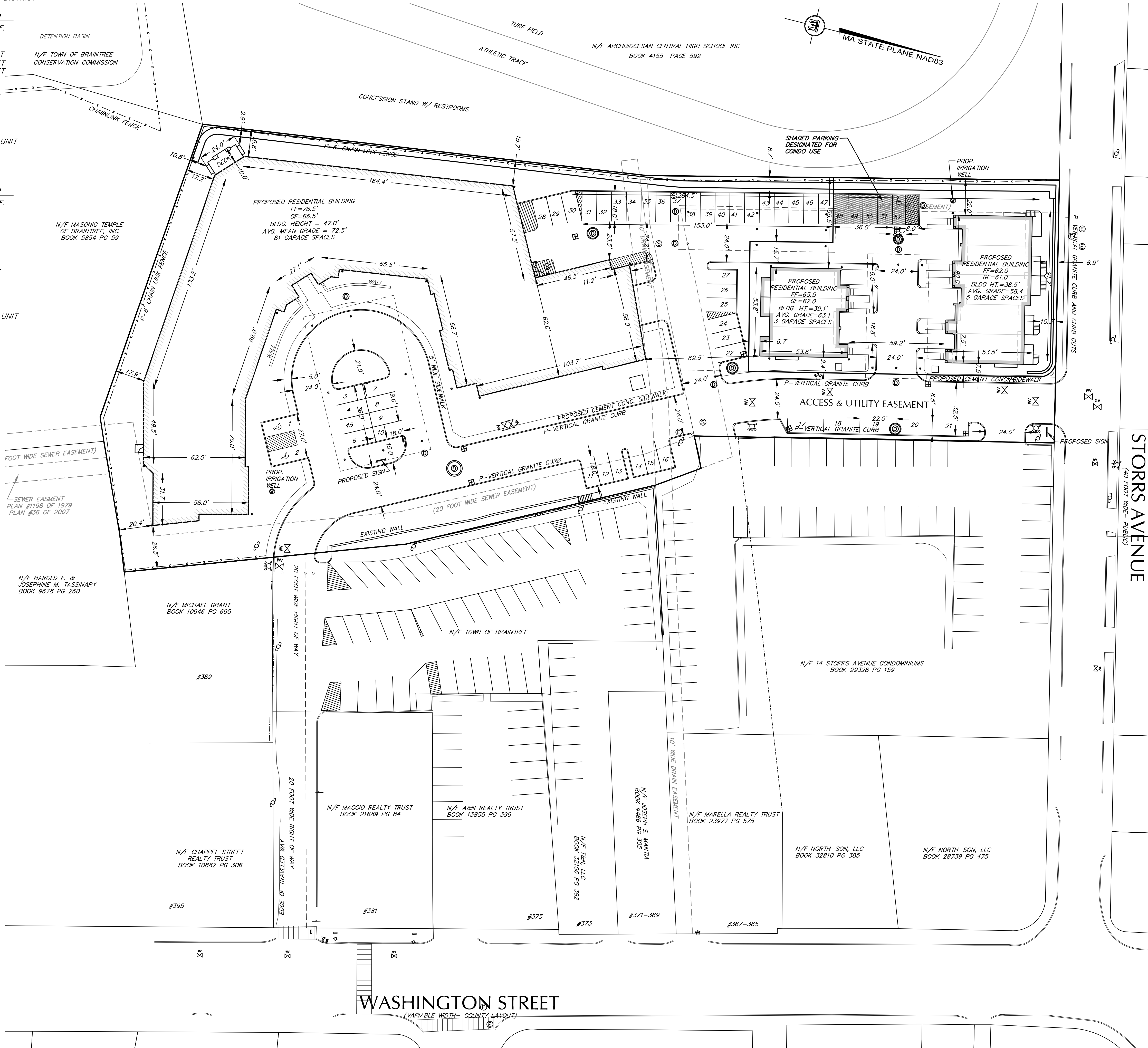
LOT 1	ZONING REQUIREMENT	PROPOSED
MINIMUM LOT SIZE	5,000-15,000 S.F.	93,866 S.F.
MIN. LOT WIDTH	25-50 FEET	40 FEET
MINIMUM LOT FRONTAGE	25-50 FEET	50 FEET
MINIMUM LOT DEPTH	60-85 FEET	400+ FEET
MAXIMUM SETBACK	15 FEET	244.3 FEET
MINIMUM FRONT YARD SETBACK	0-10 FEET	244.3 FEET
MINIMUM SIDE YARD SETBACK	0-10 FEET	10.5 FEET
MINIMUM REAR YARD SETBACK	20 FEET	9.9 FEET
MAXIMUM BUILDING HEIGHT	50 FEET	47.0 FEET
MAXIMUM NUMBER OF STORIES	3	3
MAXIMUM BUILDING COVERAGE	80%	31.8%
MAXIMUM LOT COVERAGE	90%	73.9%
MINIMUM OPEN SPACE	10%	26.1%
MIN. PARKING SPACES/DWELLING UNIT	2 PER UNIT	1.83 PER UNIT

128 PARKING SPACES - 70 UNITS
47 SURFACE PARKING SPACES
81 SUB-SURFACE PARKING SPACES

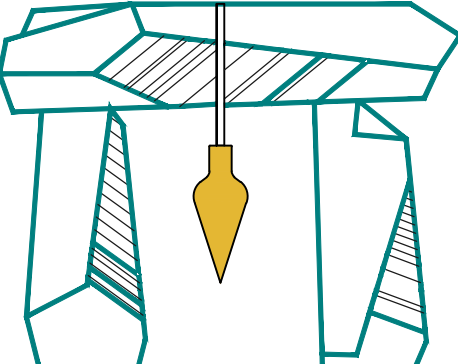
LOT 2	ZONING REQUIREMENT	PROPOSED
MINIMUM LOT SIZE	5,000-15,000 S.F.	20,327 S.F.
MIN. LOT WIDTH	25-50 FEET	79 FEET
MINIMUM LOT FRONTAGE	25-50 FEET	110 FEET
MINIMUM LOT DEPTH	60-85 FEET	137 FEET
MAXIMUM SETBACK	15 FEET	21.0 FEET
MINIMUM FRONT YARD SETBACK	0-10 FEET	6.9 FEET
MINIMUM SIDE YARD SETBACK	0-10 FEET	7.5 FEET
MINIMUM REAR YARD SETBACK	20 FEET	6.7 FEET
MAXIMUM BUILDING HEIGHT	50 FEET	39.6 FEET
MAXIMUM NUMBER OF STORIES	3	2.5
MAXIMUM BUILDING COVERAGE	80%	31.8%
MAXIMUM LOT COVERAGE	90%	75.0%
MINIMUM OPEN SPACE	10%	25.0%
MIN. PARKING SPACES/DWELLING UNIT	2 PER UNIT	2.62 PER UNIT

21 PARKING SPACES - 8 UNITS

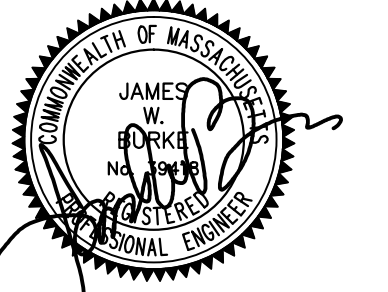
EXISTING:	PROPOSED:



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JAMES W. BURKE, PE

DATE

GENERAL NOTES:

ZONING: GENERAL BUSINESS

MINIMUM REQUIREMENTS:
AREA: 15,000 S.F.
FRONT SETBACK: 10'
SIDE SETBACK: 10'
REAR SETBACK: 20'
LOT FRONTAGE/WIDTH: 50'/100'
MAX HEIGHT: 3 STY
BUILDING COVERAGE: 70%
MIN OPEN SPACE: 10%

CURRENT OWNER:

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519 ALBANY STREET, SUITE 200
BOSTON, MA 02122

DEED REFERENCE:

Book 30862 Page 314
Book 14283 Page 545
Book 14283 Page 550

PLAN REFERENCE:

Book 455 Page 272
Book 4284 Page 179
LC PLAN 3751D

ASSESSORS REFERENCE:

MAP 2028 LOT 31

PROJECT TITLE & LOCATION:

PARKSIDE APARTMENTS &
PARKSIDE CONDOMINIUMS
40B RESIDENTIAL PROJECT
383-385 WASHINGTON STREET
BRAINTREE, MA

PLAN TITLE:

PROPOSED LAYOUT

PREPARED FOR:

THE HOLLAND COMPANIES
519 ALBANY STREET
SUITE 200
BOSTON, MA 02118

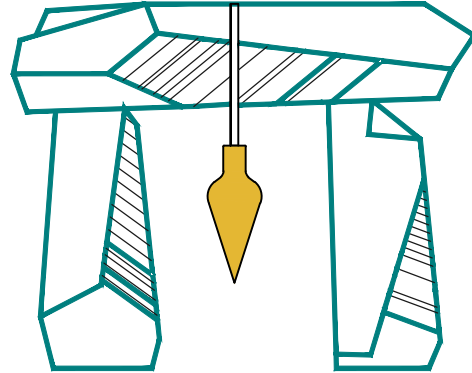
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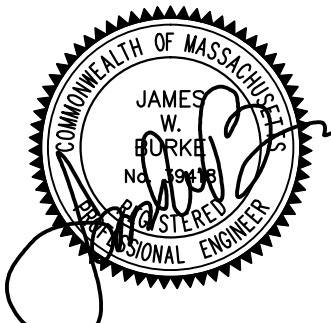
JOB NUMBER: 185.033 SHEET 5 OF 10

30 15 0 30 60

SCALE: 1"=30'



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JAMES W. BURKE, PLS

DATE

GENERAL NOTES:

ZONING: GENERAL BUSINESS

MINIMUM REQUIREMENTS:

AREA: 15,000 S.F.
FRONT SETBACK: 10'
SIDE SETBACK: 10'
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LOT FRONTAGE/WIDTH: 50'/100'
MAX HEIGHT: 3 STY
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PARKSIDE CONDOMINIUMS
40B RESIDENTIAL PROJECT
383-385 WASHINGTON STREET
BRAINTREE, MA

PLAN TITLE:

PROPOSED GRADING

PREPARED FOR:

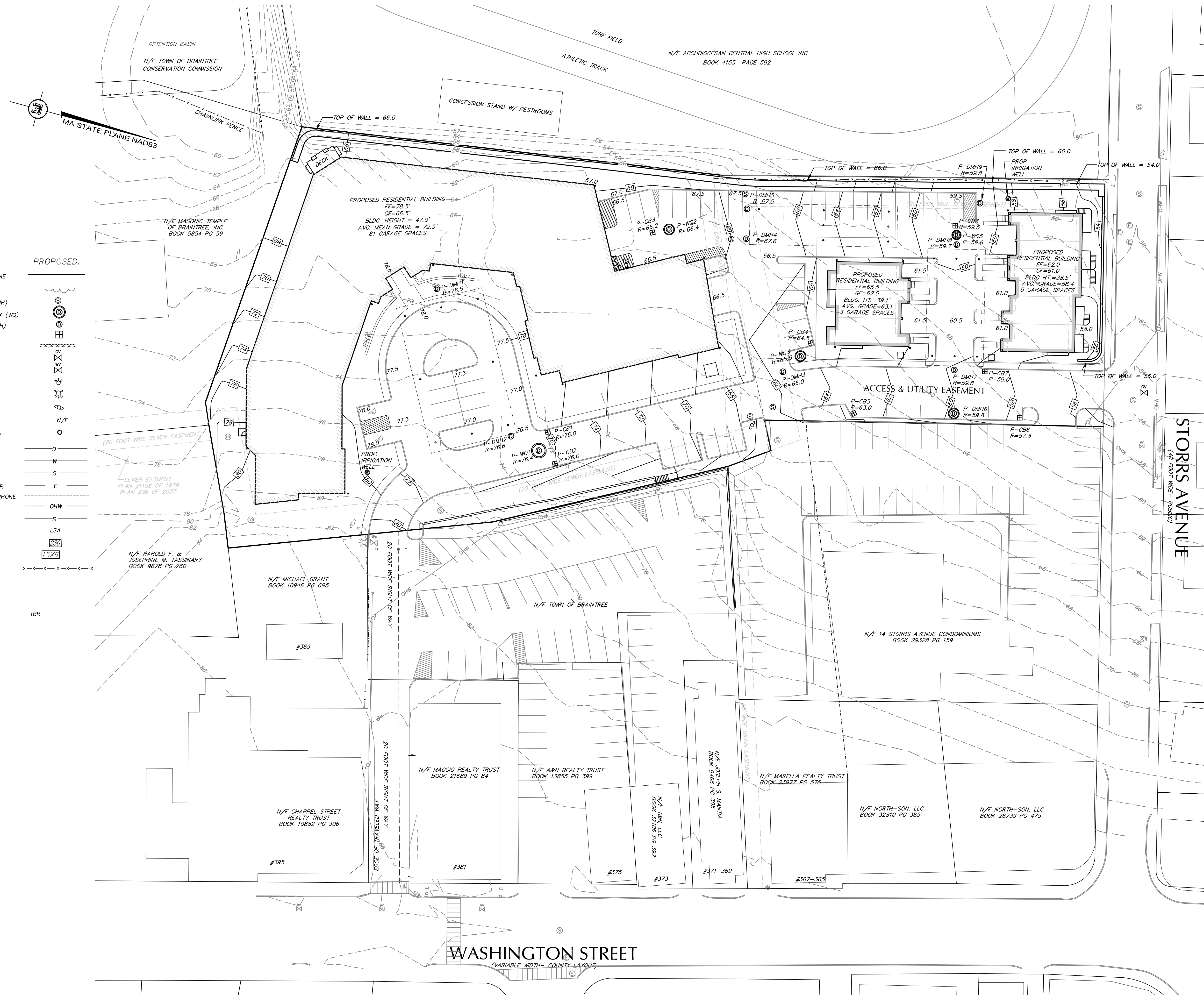
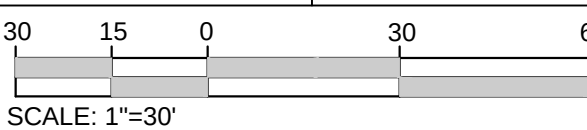
THE HOLLAND COMPANIES
519 ALBANY STREET
SUITE 200
BOSTON, MA 02118

DATE: FEBRUARY 2, 2017

REVISED: OCTOBER 16, 2019

JOB NUMBER: 185.033

SHEET 6 OF 10

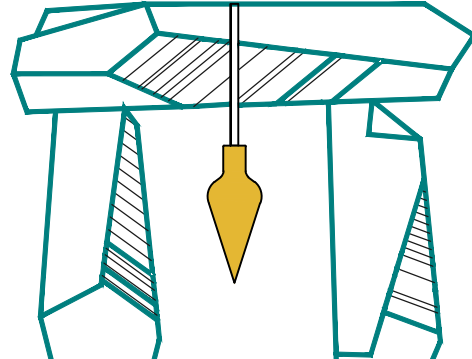
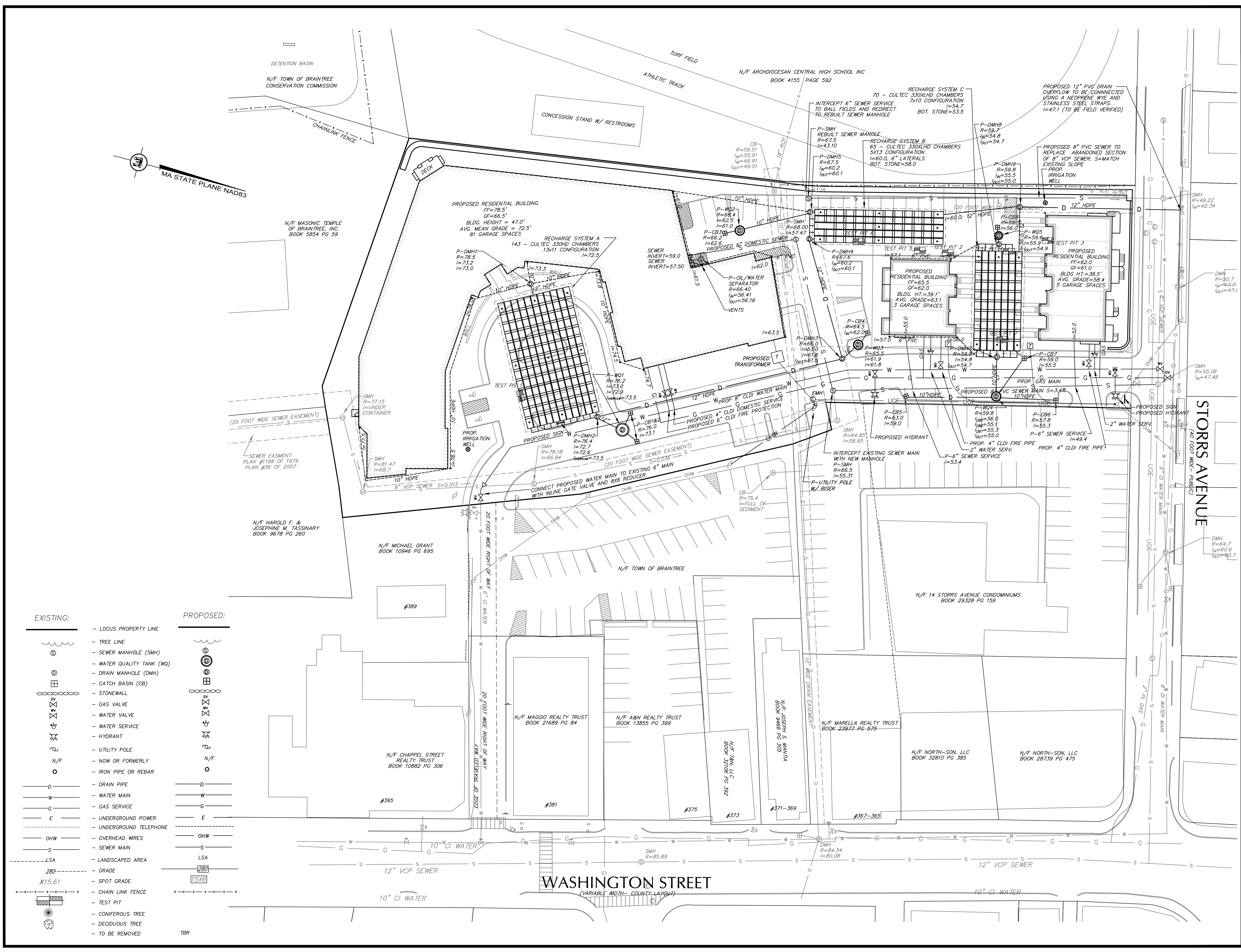


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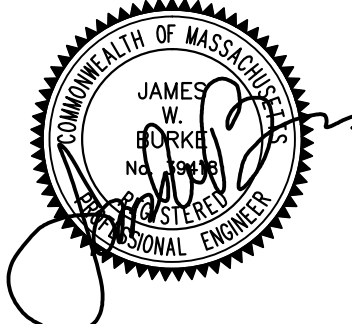
- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- WATER QUALITY TANK (WQ)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
- NOW OR FORMERLY
- IRON PIPE OR REBAR
- DRAIN PIPE
- WATER MAIN
- GAS SERVICE
- UNDERGROUND POWER
- UNDERGROUND TELEPHONE
- OVERHEAD WIRES
- SEWER MAIN
- LANDSCAPED AREA
- GRADE
- SPOT GRADE
- CHAIN LINK FENCE
- TEST PIT
- CONIFEROUS TREE
- DECIDUOUS TREE
- TO BE REMOVED

PROPOSED:

- LOCUS PROPERTY LINE
- TREE LINE
- SEWER MANHOLE (SMH)
- WATER QUALITY TANK (WQ)
- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- STONEWALL
- GAS VALVE
- WATER VALVE
- WATER SERVICE
- HYDRANT
- UTILITY POLE
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- TEST PIT
- CONIFEROUS TREE
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- TO BE REMOVED



1266 Furnace Brook Parkway #401
Quincy, MA 02169
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www.decelle-burke-sala.com



JAMES W. BURKE, PE DATE

GENERAL NOTES:

ZONING: GENERAL BUSINESS

MINIMUM REQUIREMENTS:

AREA: 15,000 S.F.

FRONT SETBACK: 10'

SIDE SETBACK: 10'

REAR SETBACK: 20'

LOT FRONTAGE/WIDTH: 50'/100'

MAX HEIGHT: 3 STY

BUILDING COVERAGE: 70%

MIN OPEN SPACE: 10%

CURRENT OWNER:

383 WASHINGTON STREET LLC
519 ALBANY STREET, SUITE 200
BOSTON, MA 02122

DEED REFERENCE:

Book 30862 Page 314
Book 14283 Page 545
Book 14283 Page 550

PLAN REFERENCE:

Book 455 Page 272
Book 4284 Page 179
LC PLAN 3751D

ASSESSORS REFERENCE:

MAP 2028 LOT 31

PROJECT TITLE & LOCATION:

PARKSIDE APARTMENTS &
PARKSIDE CONDOMINIUMS
40B RESIDENTIAL PROJECT
383-385 WASHINGTON STREET
BRAINTREE, MA

PLAN TITLE:

PROPOSED UTILITIES

PREPARED FOR:

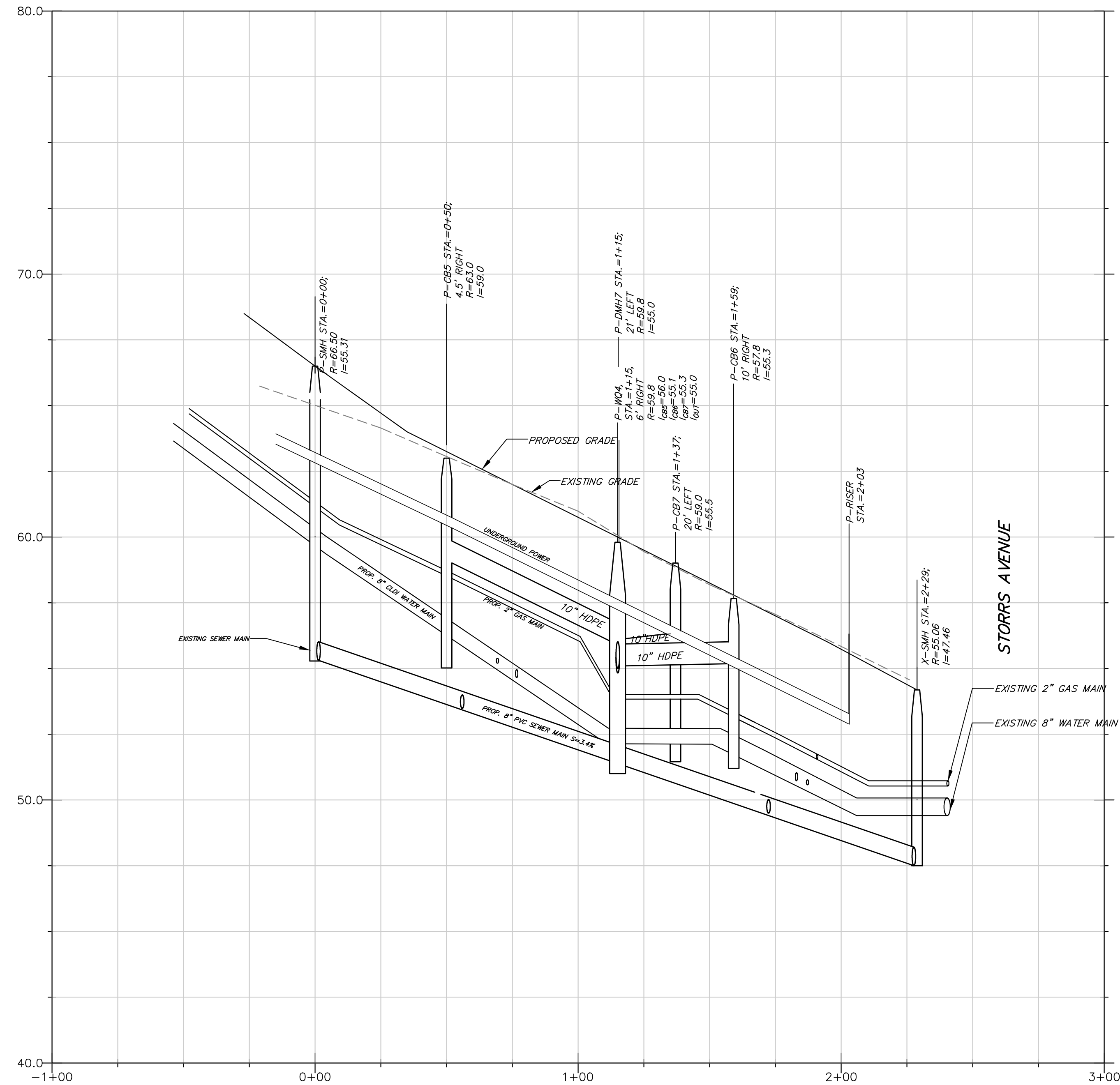
THE HOLLAND COMPANIES
519 ALBANY STREET
SUITE 200
BOSTON, MA 02118

DATE: FEBRUARY 2, 2017
REVISED: OCTOBER 16, 2019

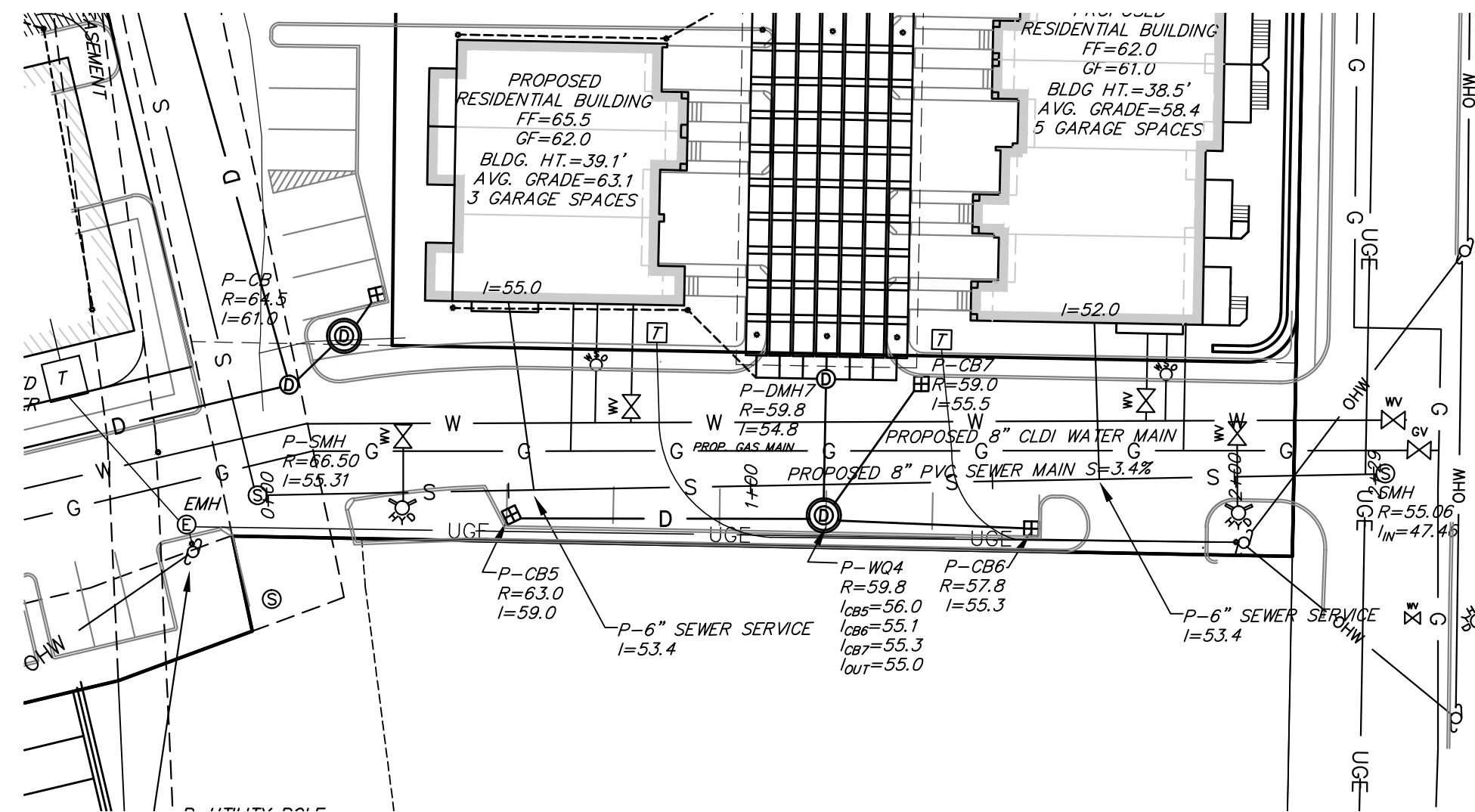
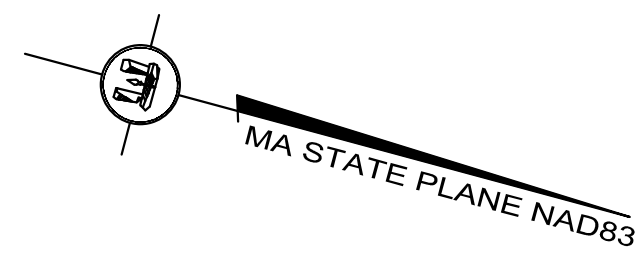
JOB NUMBER: 185.033 SHEET 7 OF 10

30 15 0 30 60

SCALE: 1"=30'

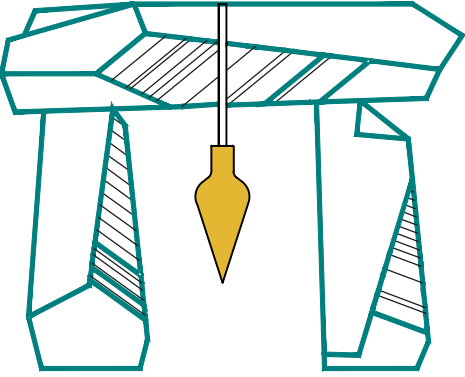


UTILITY PROFILE
HORIZONTAL SCALE = 1" = 30'
VERTICAL SCALE = 1" = 3'

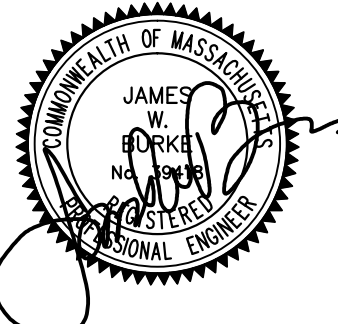


PROFILE PLAN VIEW
SCALE: 1" = 30'

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JAMES W. BURKE, PE

DATE

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AREA: 15,000 S.F.

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REAR SETBACK: 20'

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MIN OPEN SPACE: 10%

CURRENT OWNER:

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BOSTON, MA 02122

DEED REFERENCE:

Book 30862 Page 314
Book 14283 Page 545
Book 14283 Page 550

PLAN REFERENCE:

Book 455 Page 272
Book 4284 Page 179
LC PLAN 3751D

ASSESSORS REFERENCE:

MAP 2028 LOT 31

PROJECT TITLE & LOCATION:

PARKSIDE APARTMENTS &
PARKSIDE CONDOMINIUMS
40B RESIDENTIAL PROJECT
383-385 WASHINGTON STREET
BRAINTREE, MA

PLAN TITLE:

PROPOSED UTILITY PROFILE

PREPARED FOR:

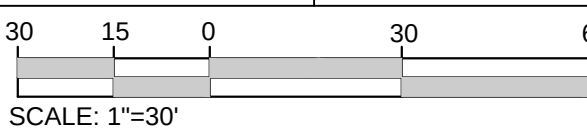
THE HOLLAND COMPANIES
519 ALBANY STREET
SUITE 200
BOSTON, MA 02118

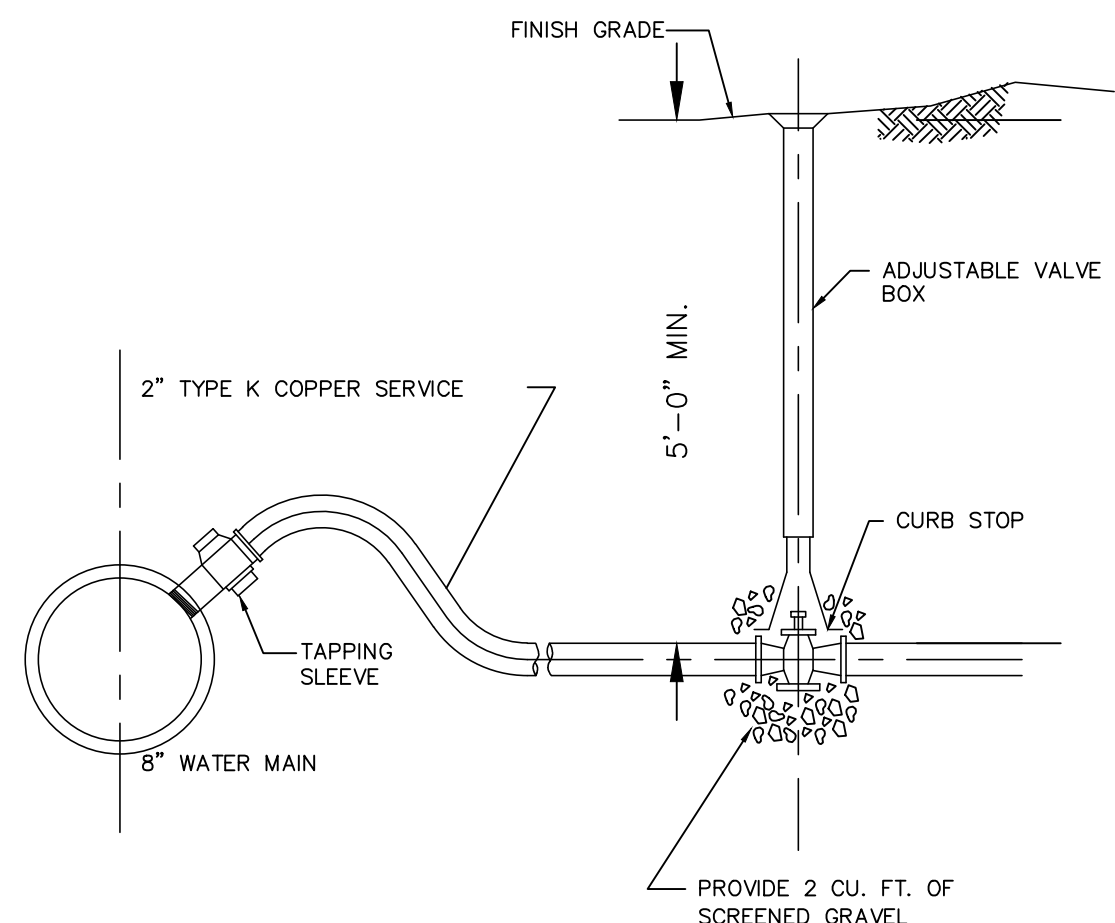
DATE: FEBRUARY 2, 2017

REVISED: OCTOBER 16, 2019

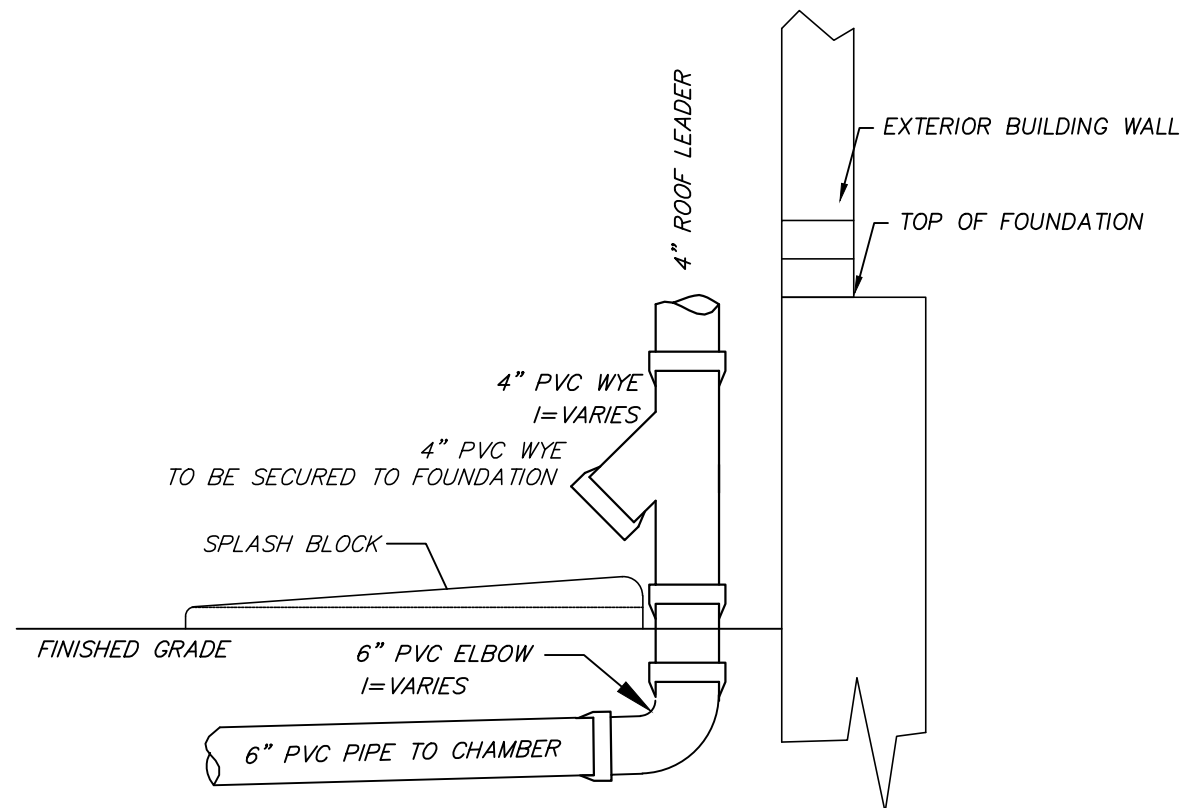
JOB NUMBER: 185.033

SHEET 8 OF 10

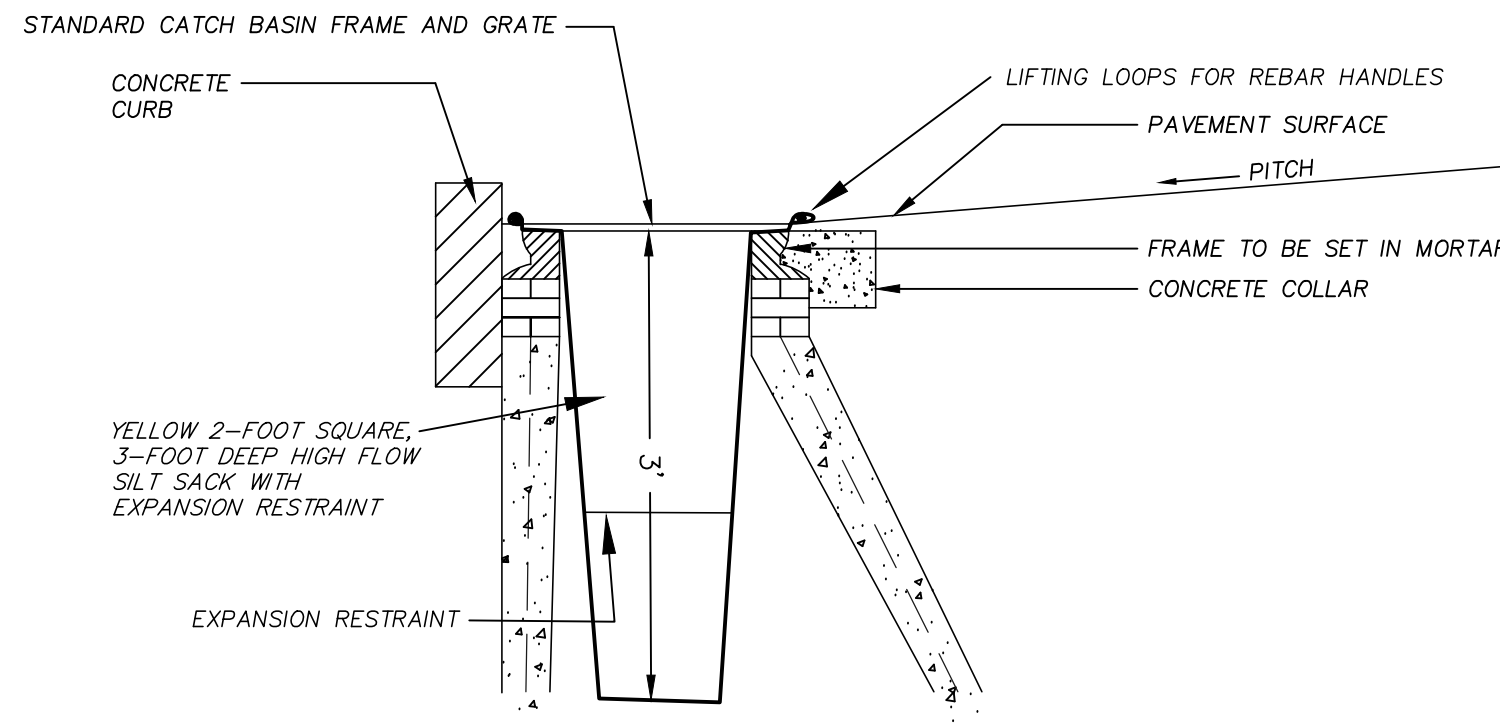




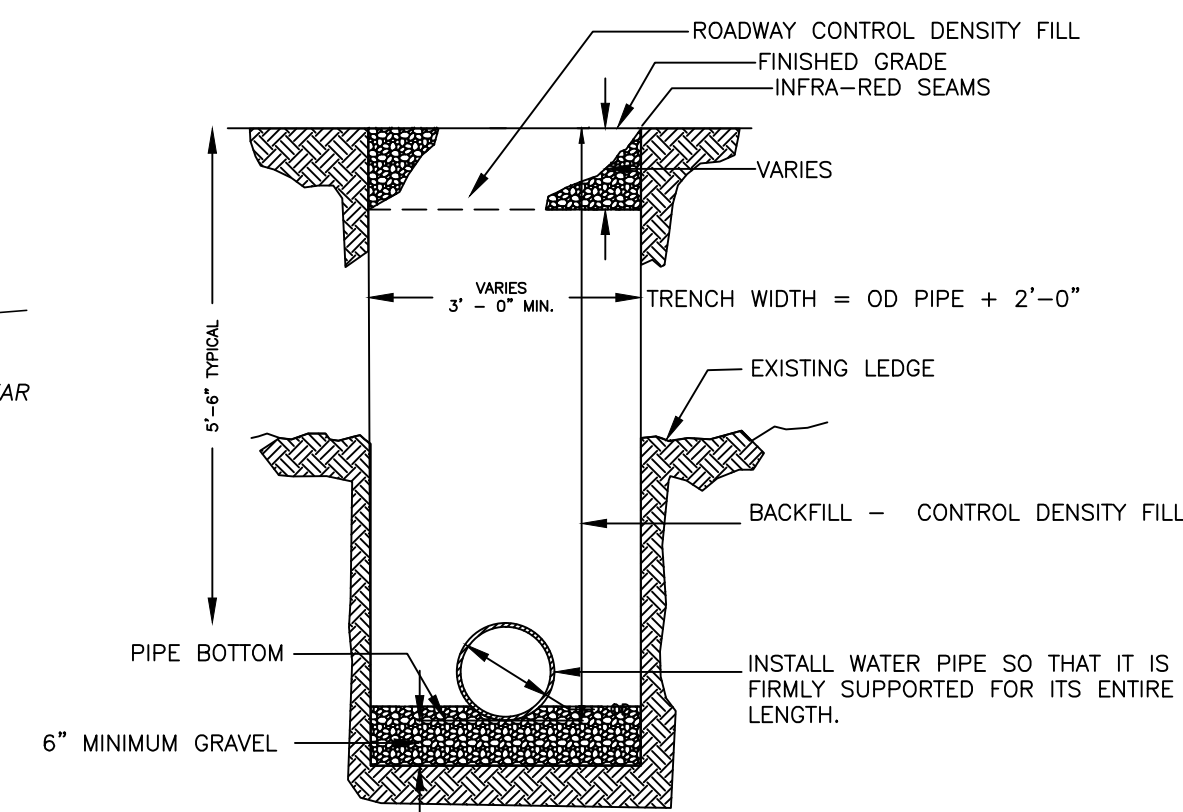
**TAPPING SLEEVE & GATE VALVE
FOR 2" COPPER DOMESTIC WATER SERVICE**
N.T.S.



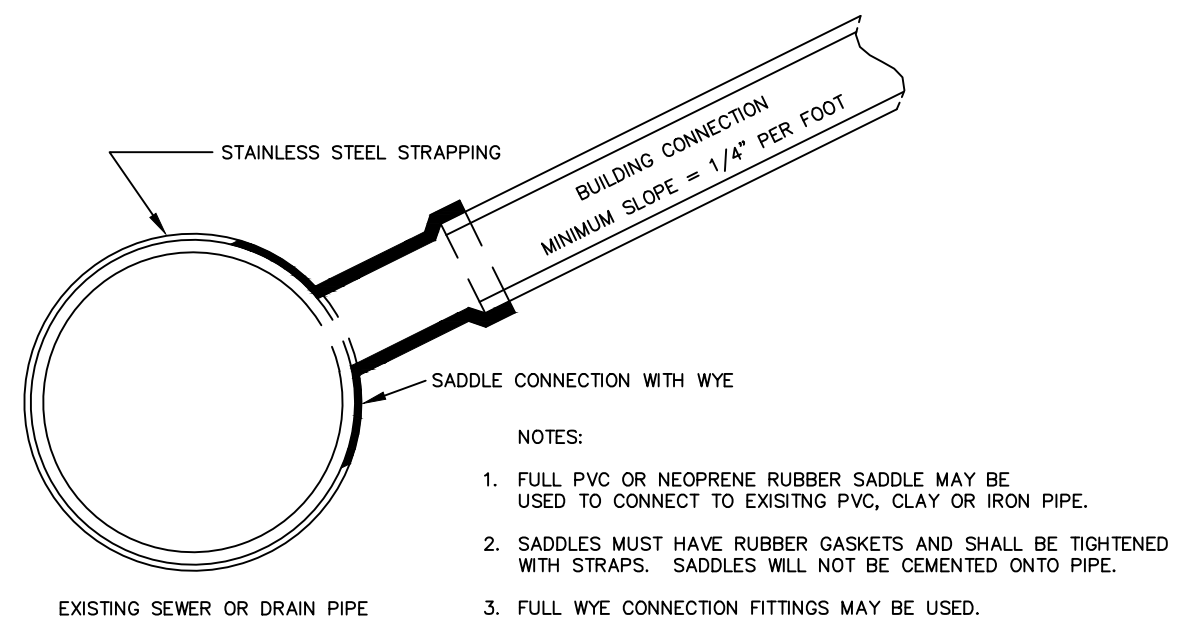
TYPICAL ROOF DRAIN W/ OVERFLOW
N.T.S.



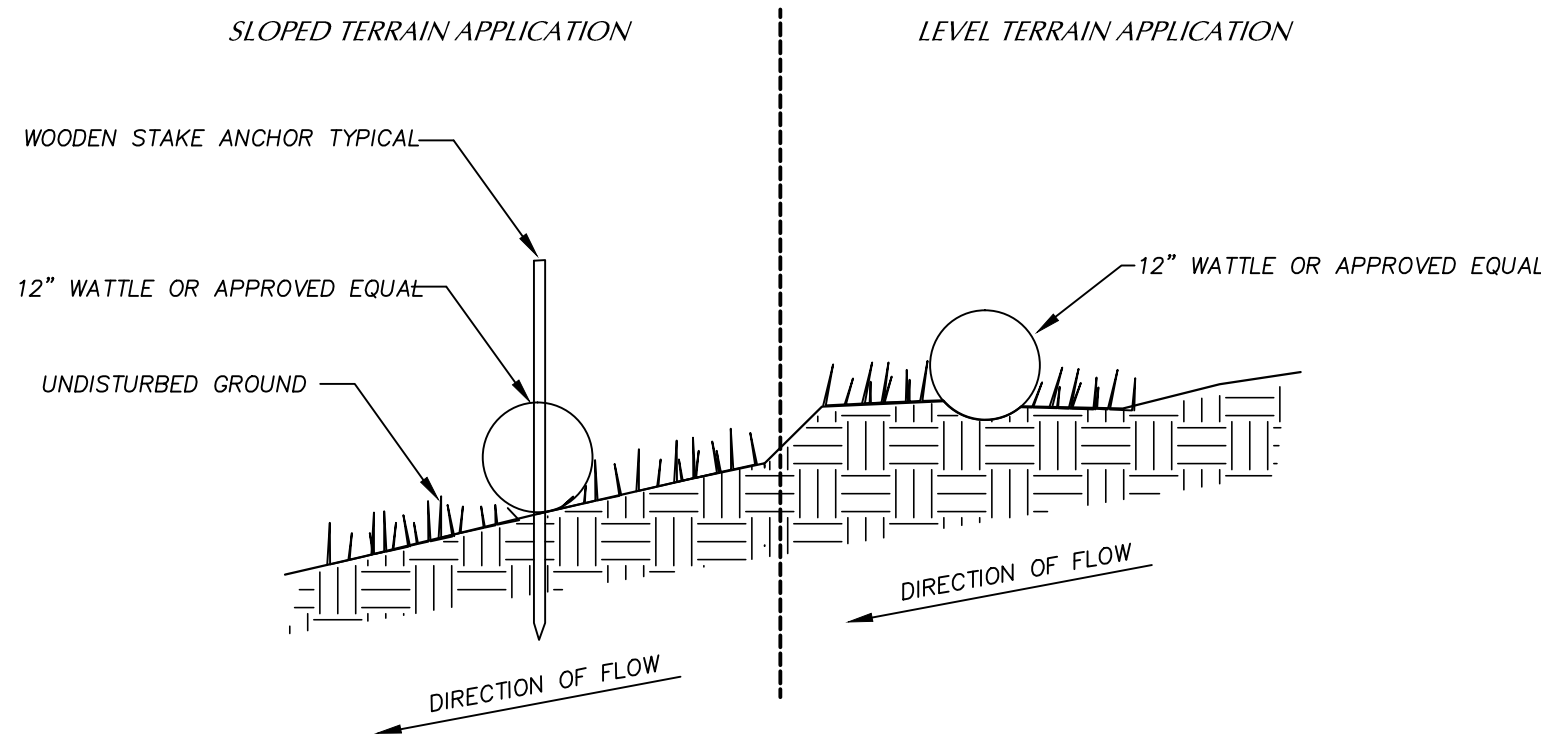
CATCH BASIN SILT SACK
N.T.S.



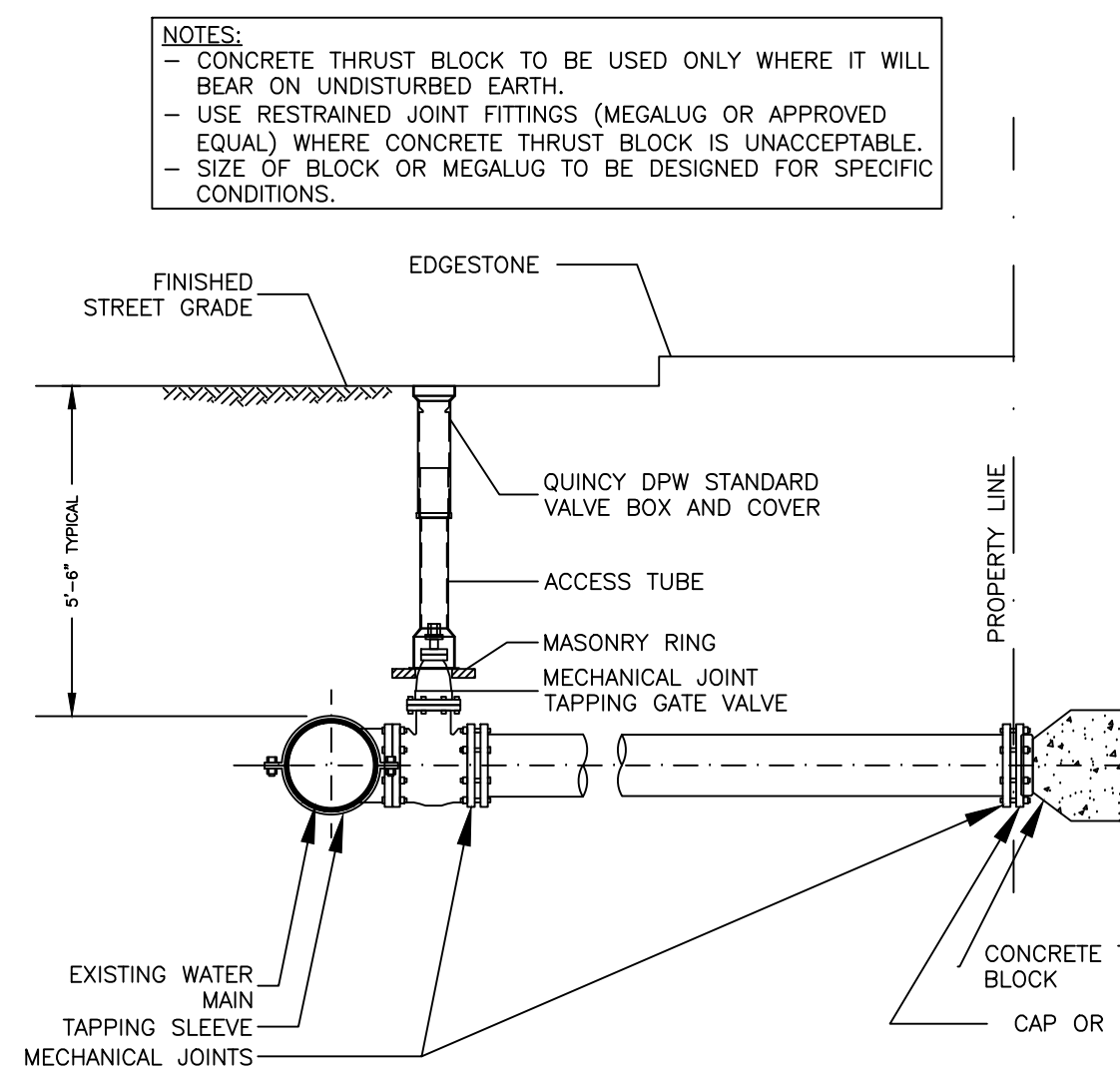
TYPICAL WATER TRENCH DETAIL
N.T.S.



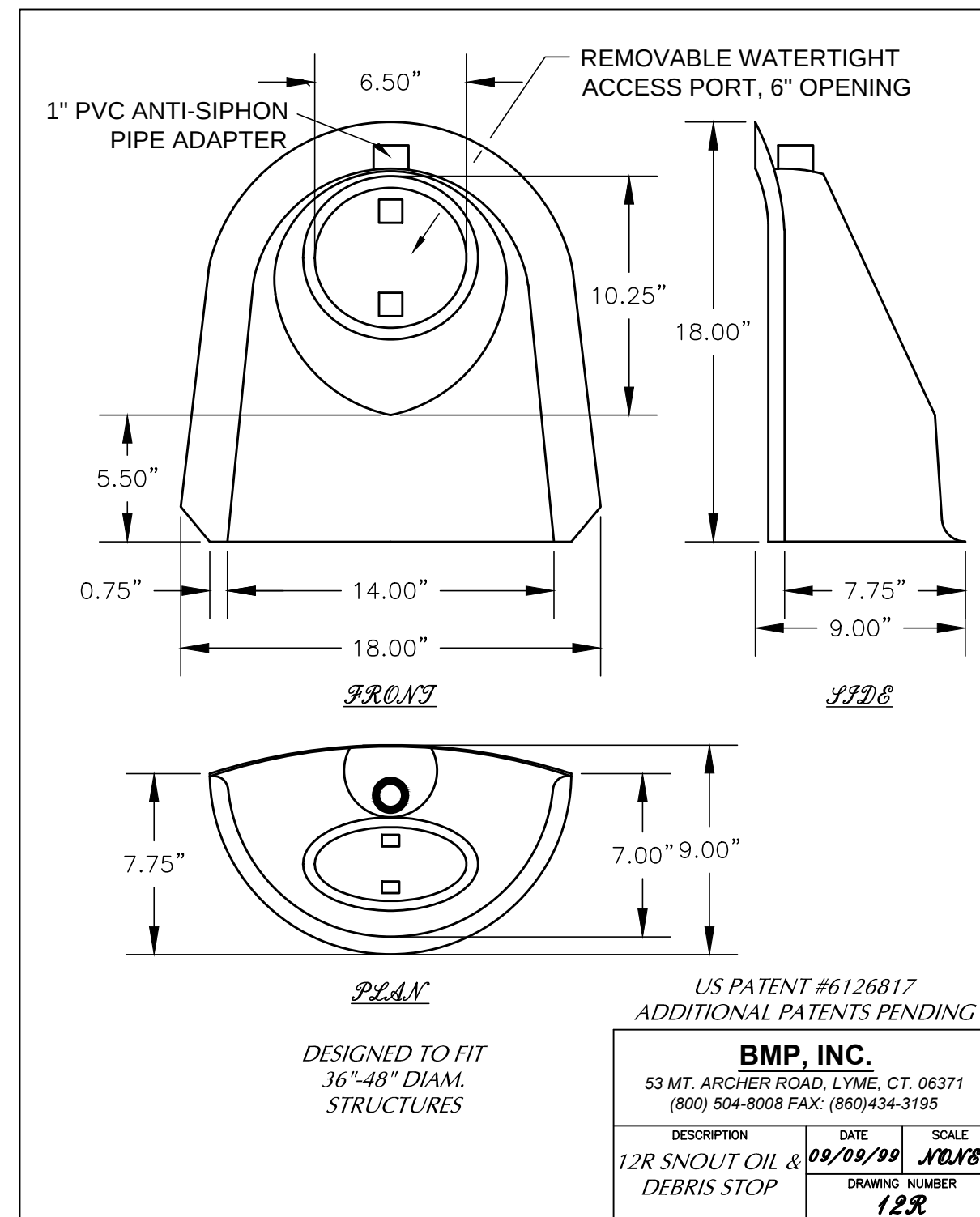
DRAIN AND SEWER SADDLE CONNECTION
N.T.S.



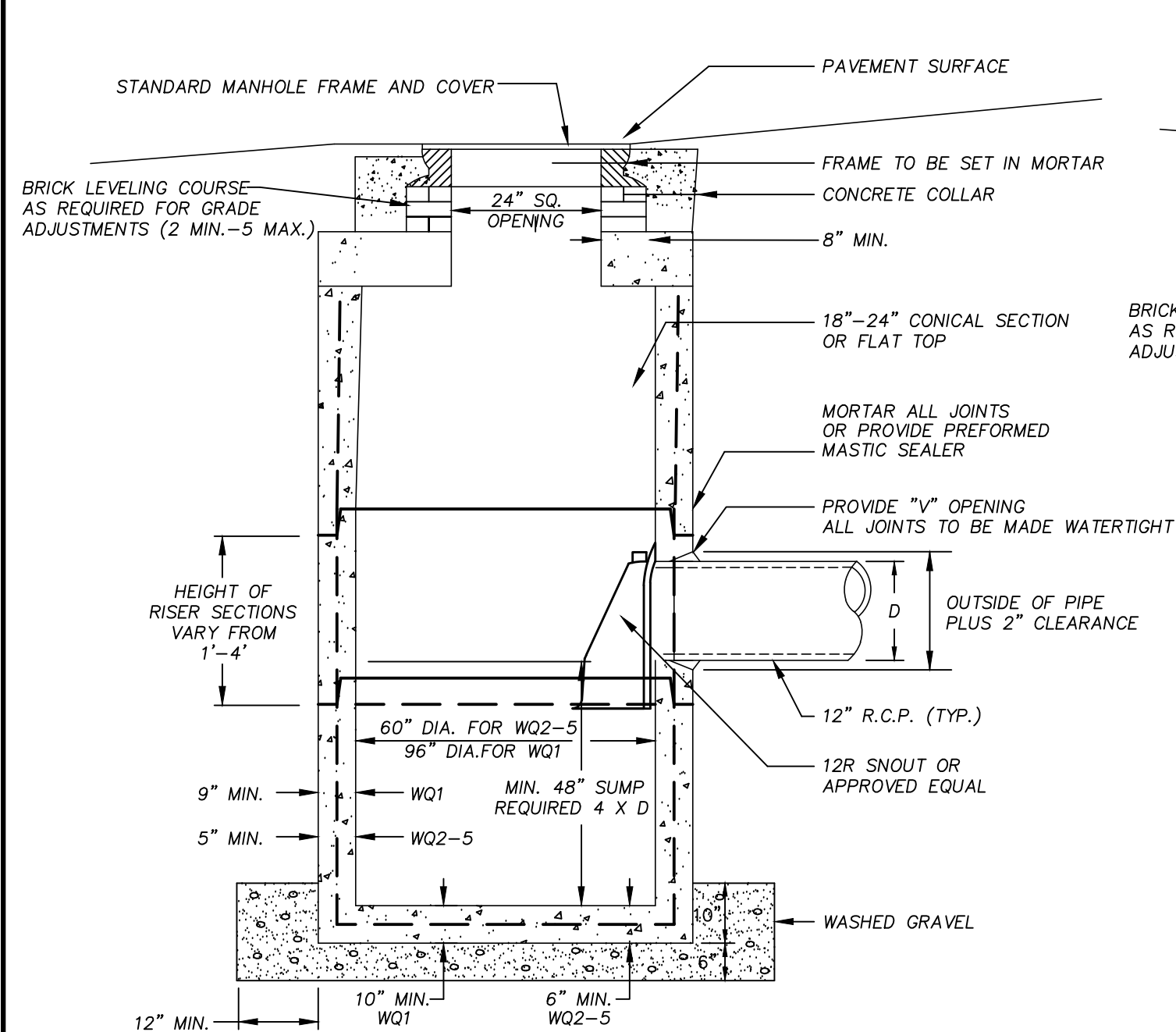
12"Ø MULCH WATTLE
NOT TO SCALE



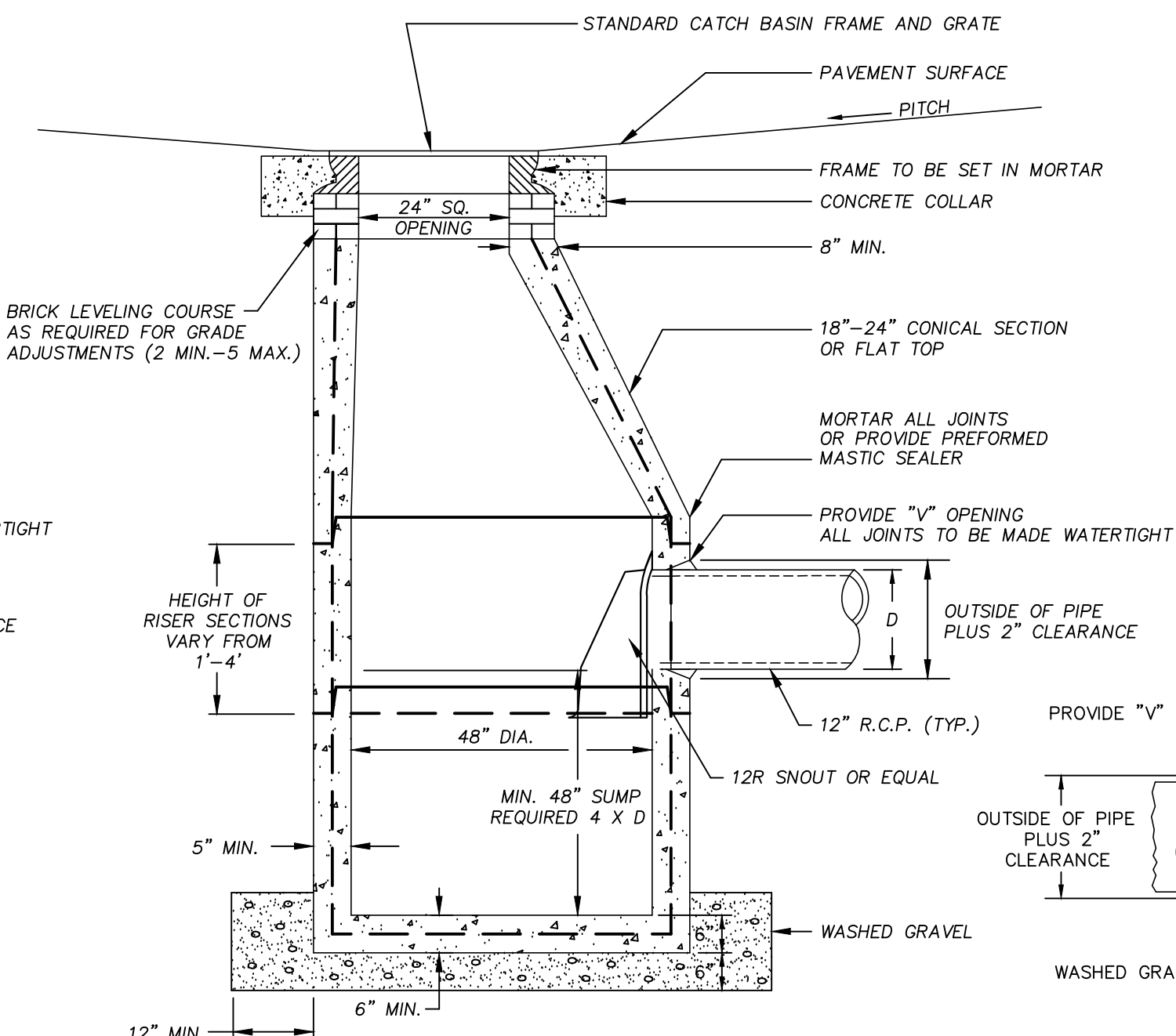
**TAPPING SLEEVE & GATE VALVE
FOR 4"-8" CLDI DOMESTIC WATER (FIRE) SERVICE**
N.T.S.



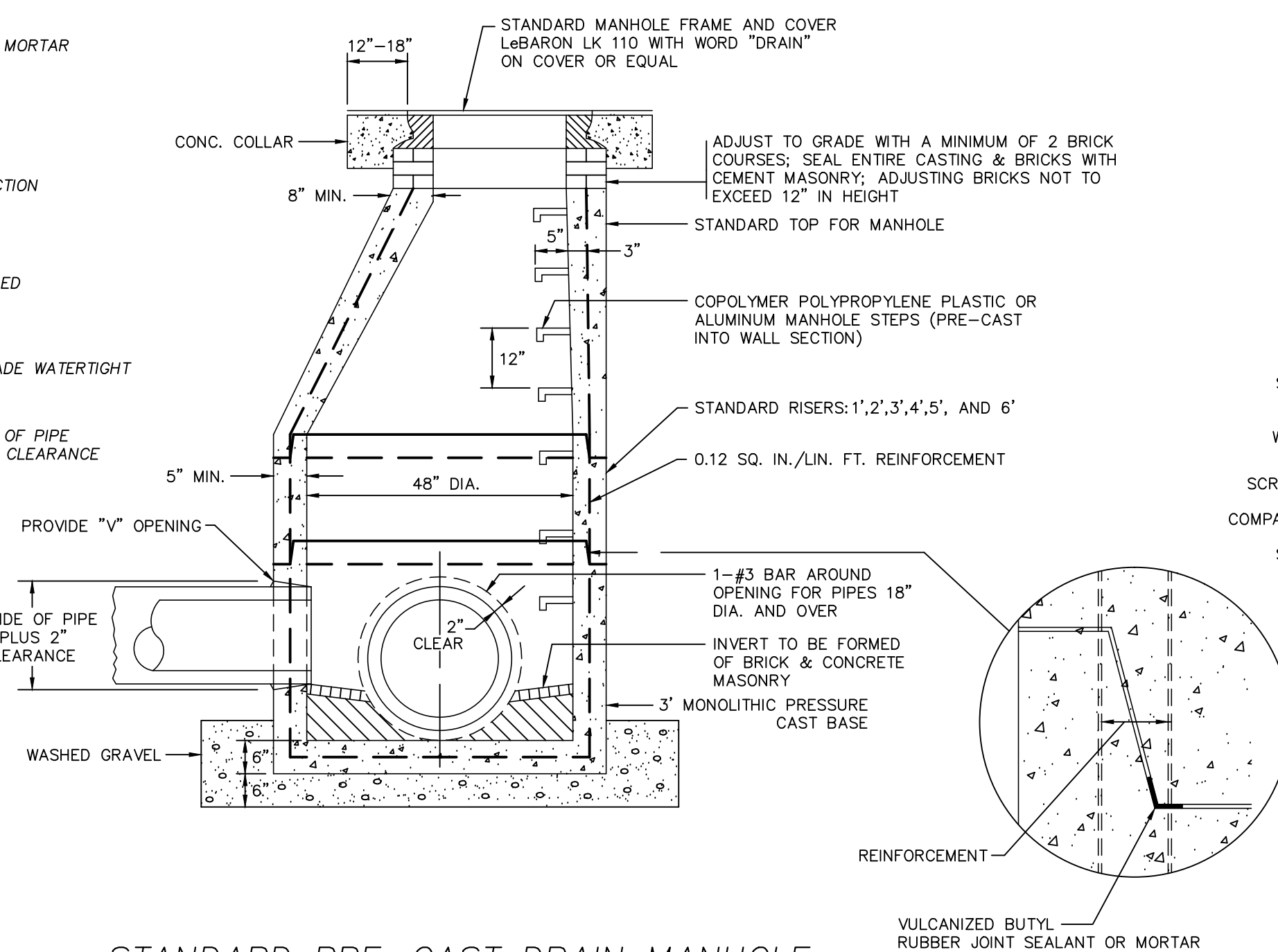
DEEP SUMP MANHOLE OUTLET BAFFLE
N.T.S.



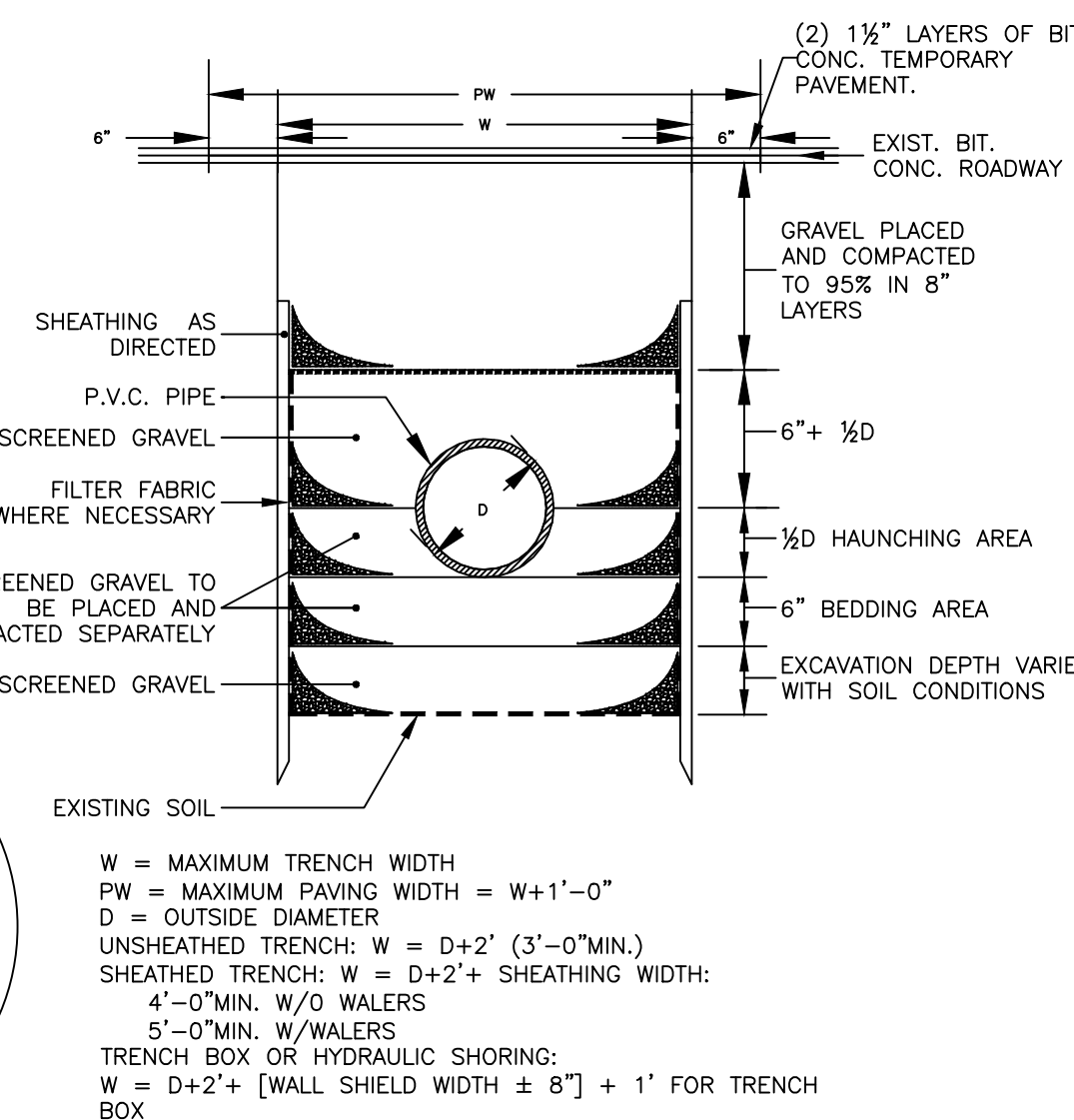
WATER QUALITY MANHOLE
NOT TO SCALE



PRECAST CONCRETE CATCH BASIN
NOT TO SCALE

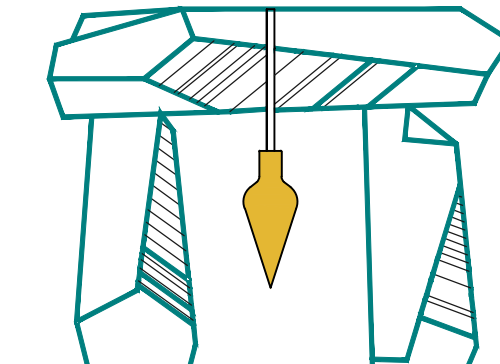


STANDARD PRE-CAST DRAIN MANHOLE

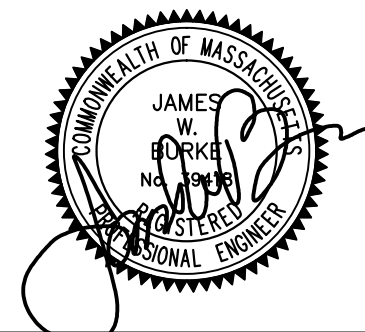


TYPICAL P.V.C. TRENCH
N.T.S.

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JAMES W. BURKE DATE

GENERAL NOTES:

ZONING: GENERAL BUSINESS

MINIMUM REQUIREMENTS:

AREA: 15,000 S.F.

FRONT SETBACK: 10'

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MAX HEIGHT: 3 STY

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MIN OPEN SPACE: 10%

CURRENT OWNER:

383 WASHINGTON STREET LLC

519 ALBANY STREET, SUITE 200

BOSTON, MA 02122

DEED REFERENCE:

Book 30862 Page 314

Book 14283 Page 545

Book 14283 Page 550

PLAN REFERENCE:

Book 455 Page 272

Book 4284 Page 179

LC PLAN 3751D

ASSESSORS REFERENCE:

MAP 2028 LOT 31

PROJECT TITLE & LOCATION:

PARKSIDE APARTMENTS &
PARKSIDE CONDOMINIUMS
40B RESIDENTIAL PROJECT
383-385 WASHINGTON STREET
BRAINTREE, MA

PLAN TITLE:
CONSTRUCTION DETAILS

PREPARED FOR:
THE HOLLAND COMPANIES
519 ALBANY STREET
SUITE 200
BOSTON, MA 02118

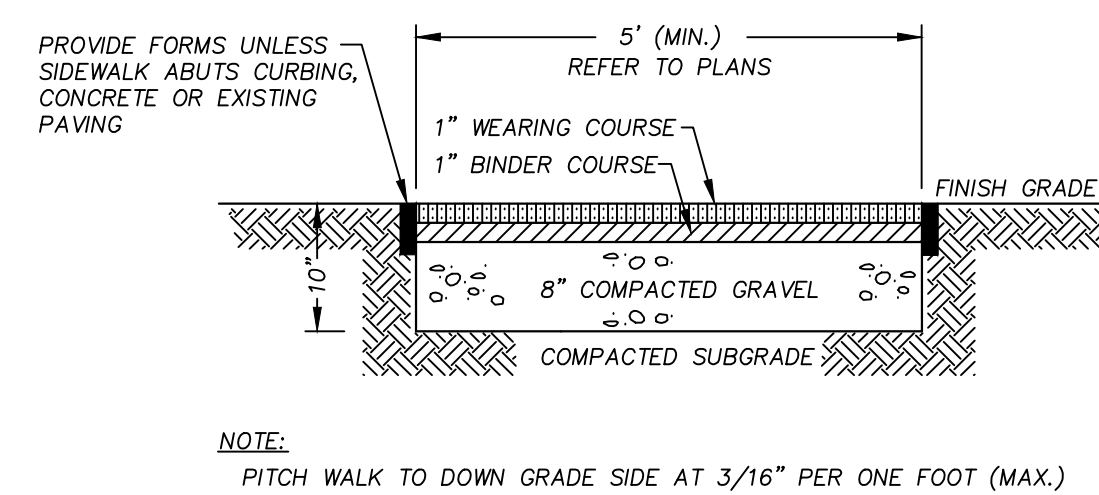
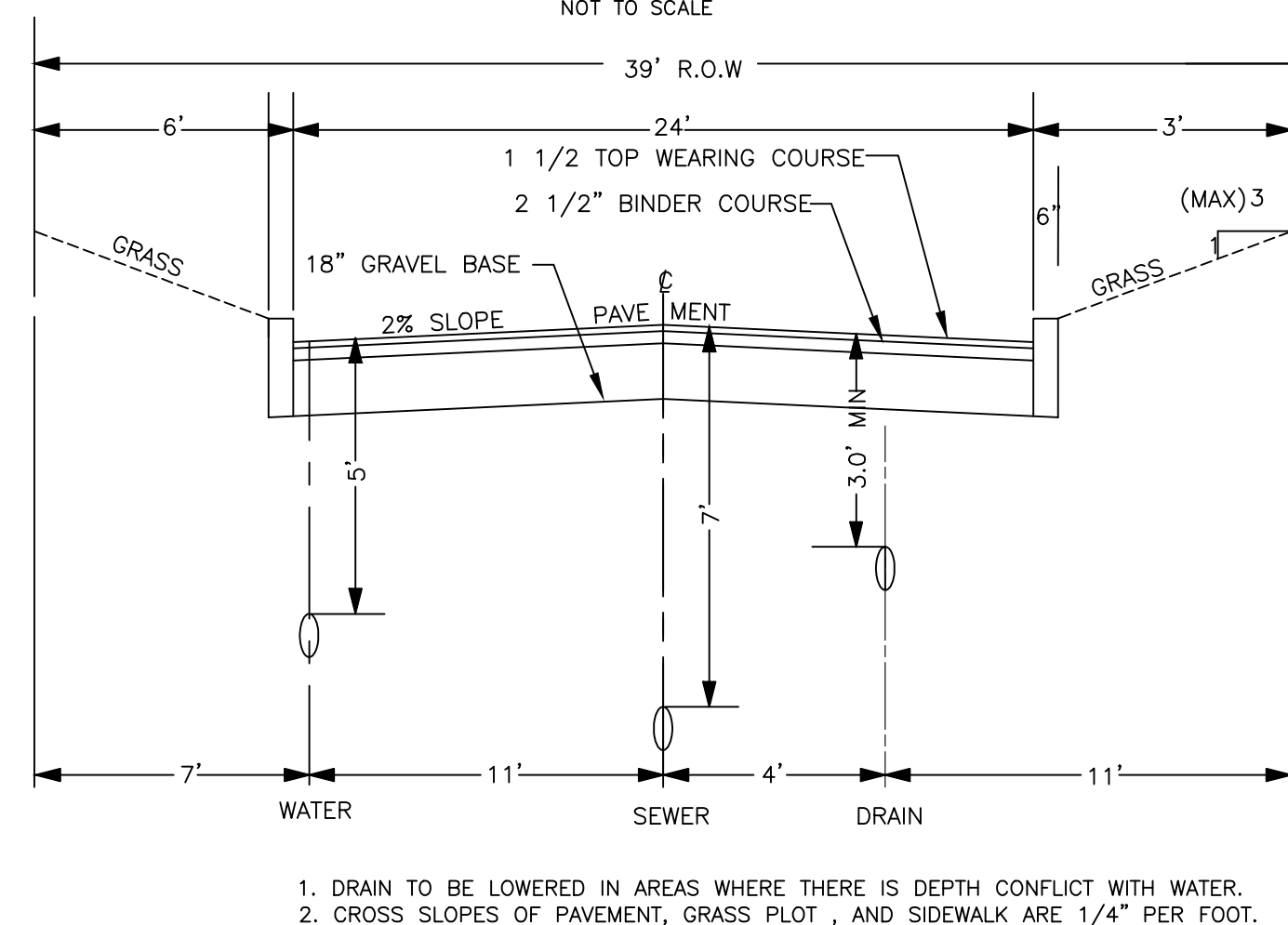
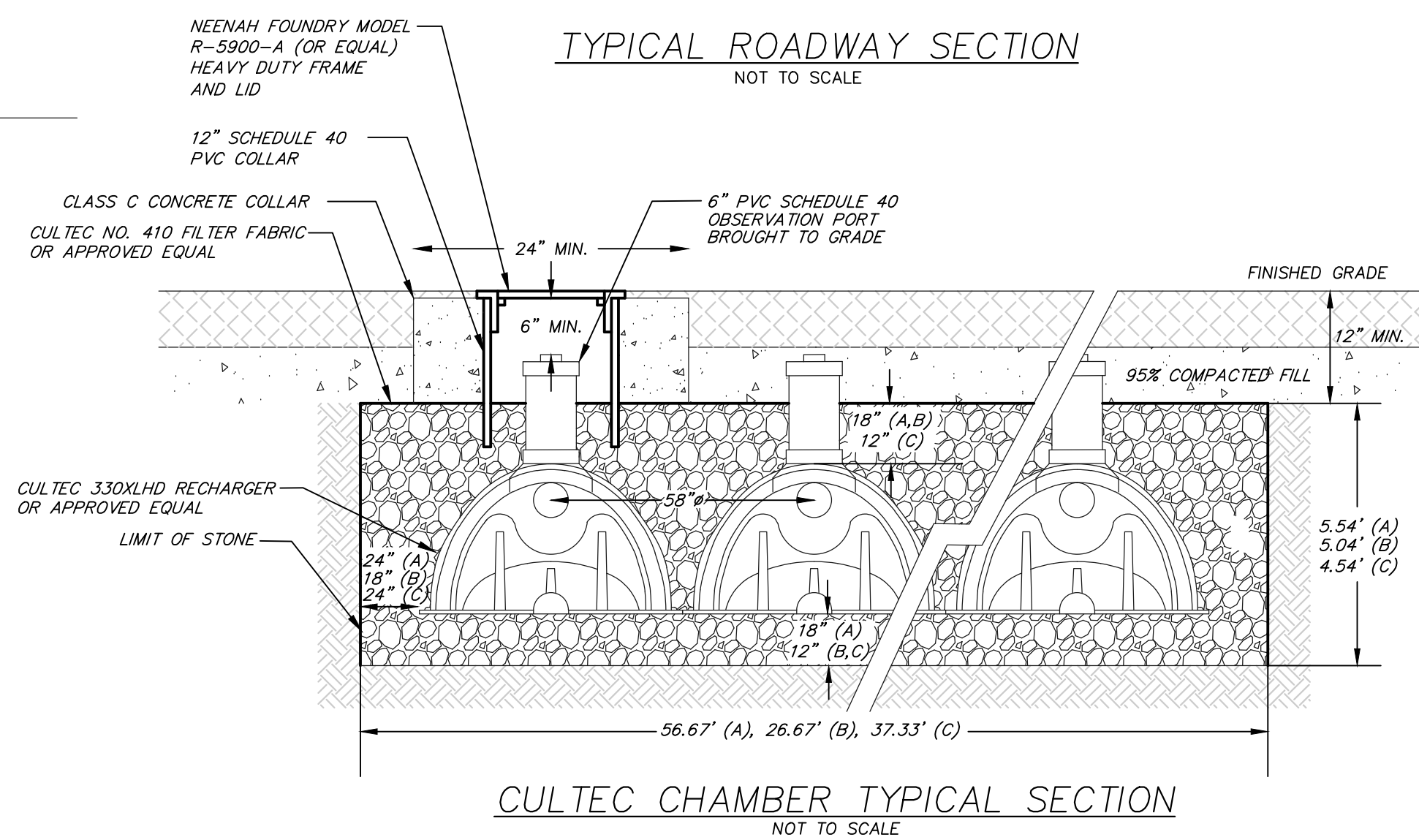
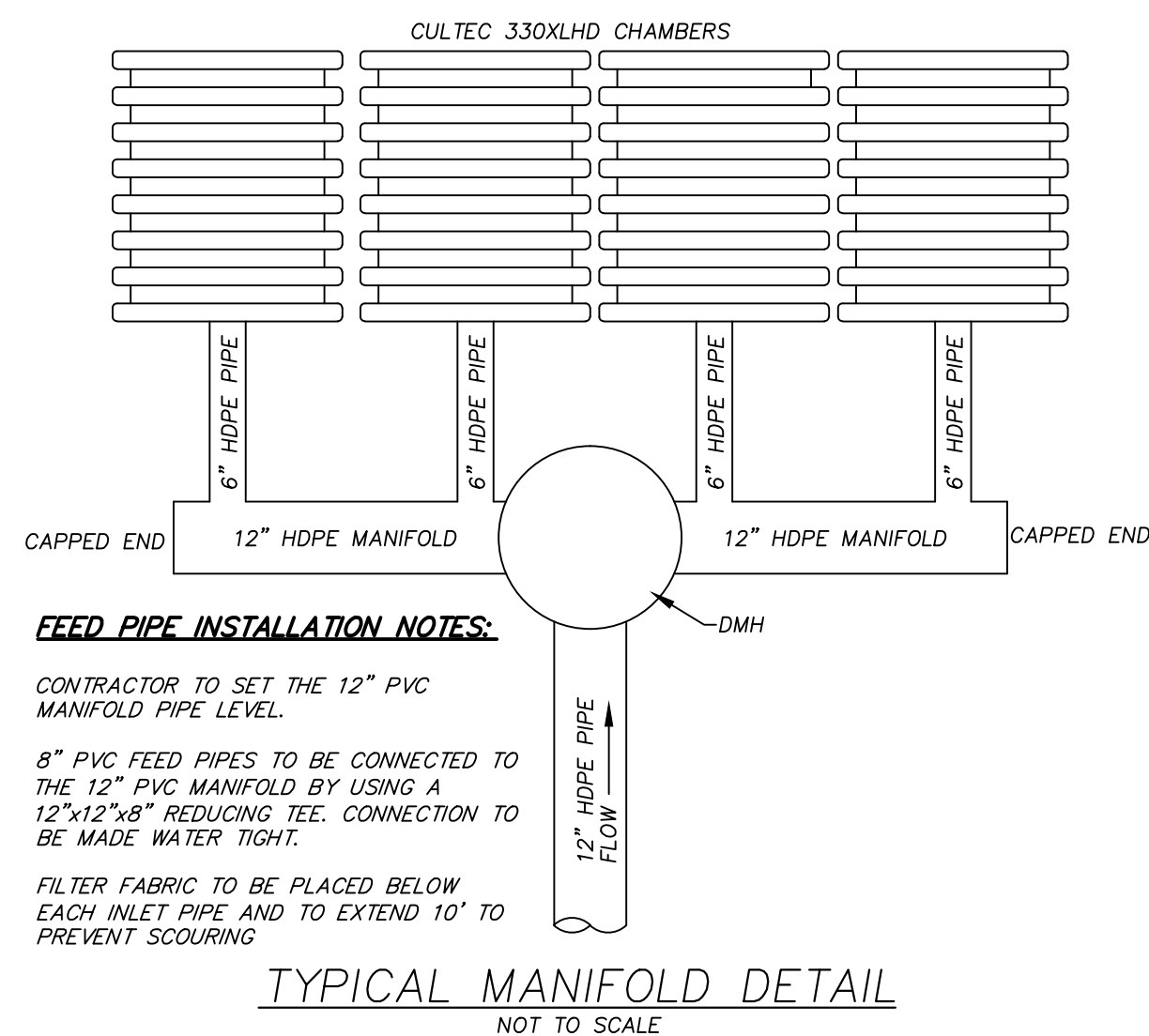
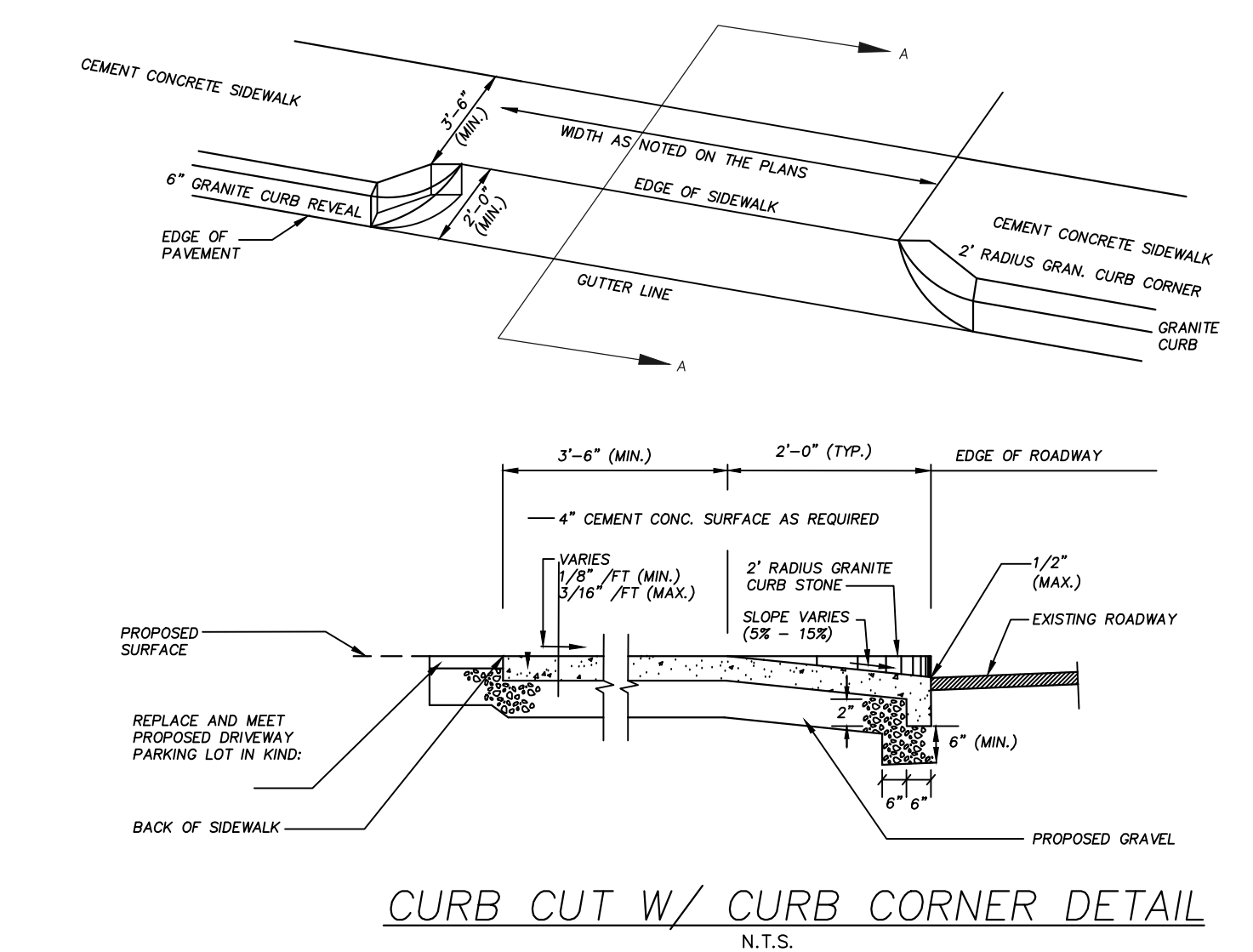
DATE: FEBRUARY 2, 2017

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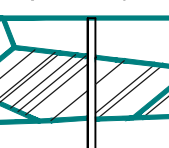
JOB NUMBER: 185.033 SHEET 9 OF 10

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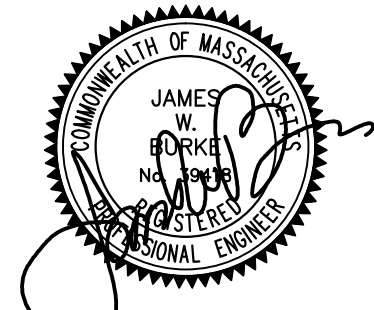
SCALE: NTS



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JAMES W. BURKE

GENERAL NOTES:

ZONING: GENERAL BUSINESS

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SIDE SETBACK: 10'

LOT FRONTAGE/WIDTH: 50'/10'

MAX HEIGHT: 3 STY

BUILDING COVERAGE: 70%

MIN OPEN SPACE: 10%

CURRENT OWNER:

383 WASHINGTON STREET LL

519 ALBANY STREET, SUITE 2
BOSTON, MA 02122

DEED REFERENCE:

Book 30862 Page 314
Book 14888 Page 545

Book 14283 Page 550

PLAN REFERENCE:

Book 455 Page 272

Book 4284 Page 179

LC PLAN 3751D

ASSESSORS REFERENCE:

MAP 2028 LOT 31

PROJECT TITLE & LOCATION:

PARKSIDE APARTMENTS &
PARKSIDE CONDOMINIUMS
40B RESIDENTIAL PROJECT
383-385 WASHINGTON STREET
BRAINTREE, MA

PLAN TITLE:

CONSTRUCTION DETAILS

PREPARED FOR:

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519 ALBANY STREET
SUITE 200
BOSTON, MA 02118

DATE: FEBRUARY 2, 2017
REVISED: OCTOBER 16, 2019

JOB NUMBER: 185.033	SHEET 10 OF 10
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SCALE: NTS